



Town/
Franklin
Neighborhood
Study

suggested
guidelines



R
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T743

Study Area



PROPERTY OF
FRANKLIN COUNTY
GENEALOGICAL SOCIETY

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Historical Society Sep 1986

Town/ Franklin Neighborhood Study

GUIDELINES FOR THE AESTHETIC
ENHANCEMENT AND UNIFICATION OF
IN-TOWN RESIDENTIAL NEIGHBORHOODS
WITH CASE STUDY APPLICATIONS TO
THE TOWN/FRANKLIN AREA OF
COLUMBUS, OHIO

THE OHIO STATE UNIVERSITY

Department of Architecture

Department of
Landscape Architecture

A Project Funded By:
**THE JUNIOR LEAGUE OF
COLUMBUS, Inc.**

April, 1978

This project was wholly funded
by the Junior League of Columbus,
Ohio, and carried out by faculty/
student research team, with the
Departments of Architecture and
Landscape Architecture, The Ohio
State University. Engineering
Experiment Station Contract No.
EES 3359X.

PROPERTY OF
FRANKLIN COUNTY
GENEALOGICAL SOCIETY
4-28-78

suggested guidelines

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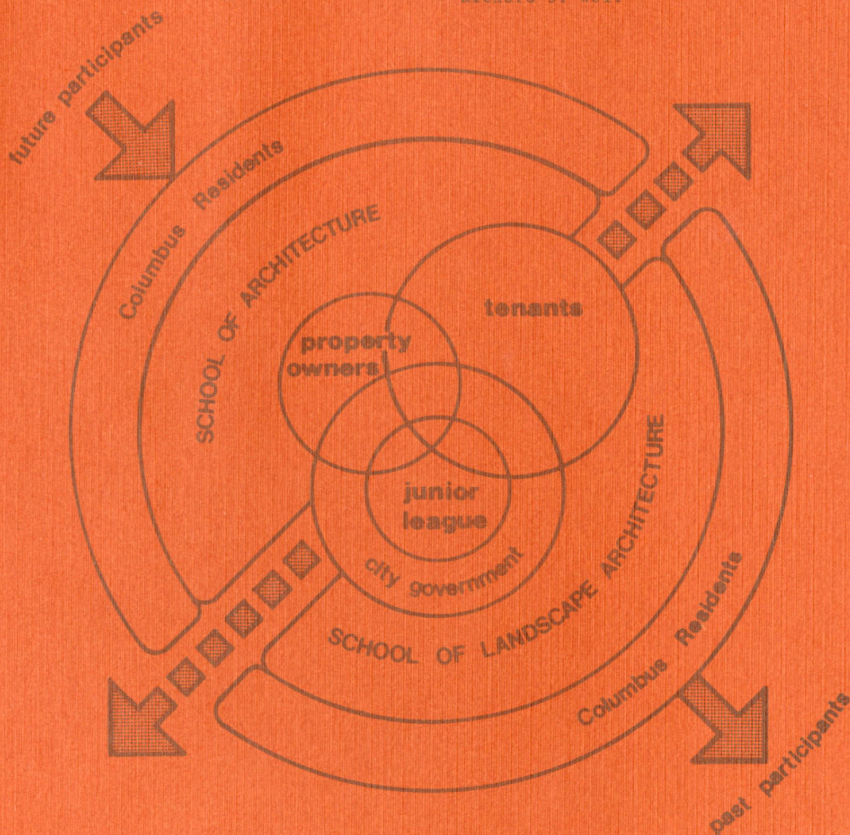
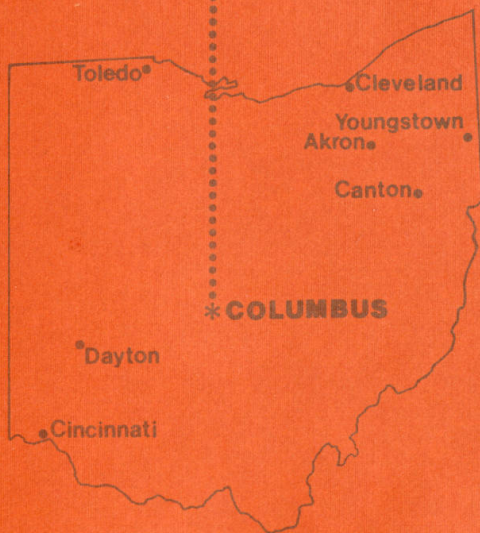
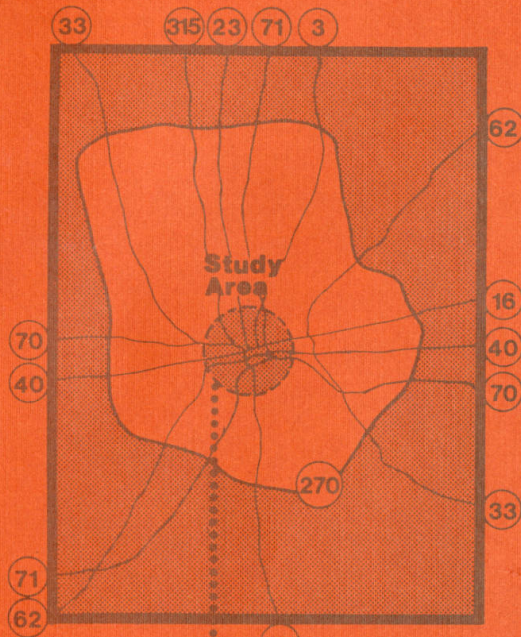


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- 5 alternate land use



The following chapters are intended to provide a set of specific, yet flexible, guidelines that private property owners as well as public agencies can use to protect, preserve and enhance the aesthetic qualities inherent in the Town/Franklin Neighborhood.

To the residents and property owners of the Town/Franklin neighborhood:

During the past year that we have been associated with this project, we have had many occasions to witness the enthusiasm and commitment of the Junior League and the citizens of the Town/Franklin area toward the revitalization of their neighborhood. It has been a pleasure to be part of this growth because we have had the opportunity to observe and encourage the social, political, economical and aesthetic improvements in the only residential neighborhood remaining in the central Business District of Columbus,

Ohio.

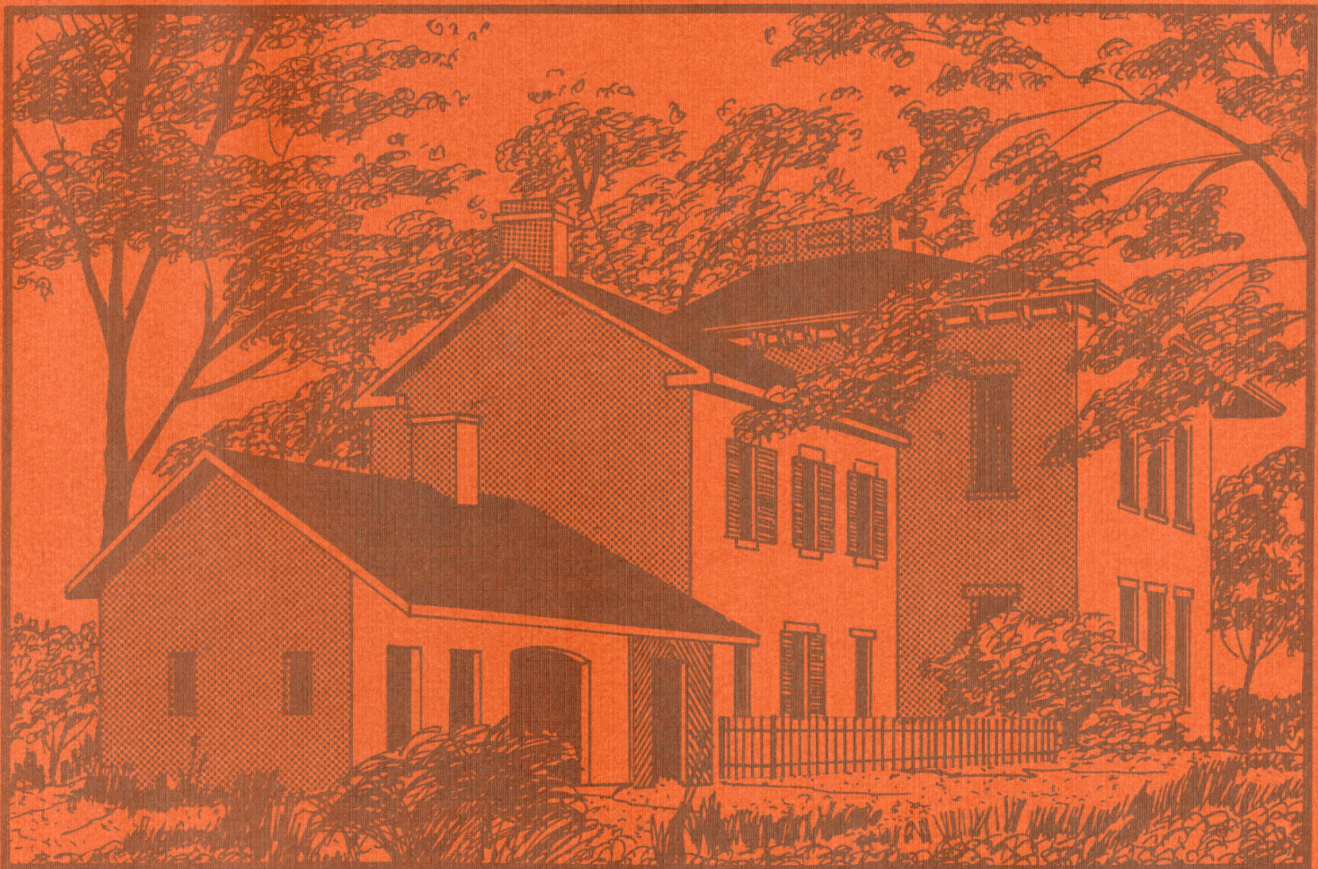
The major purpose of this publication is to provide guidelines reinforcing the many positive urban features in the Town/Franklin neighborhood while eliminating the negative influences of the study area. In our opinion this neighborhood has the potential to become one of the outstanding residential mixed-use urban environments in Ohio. The guidelines are meant to serve as an important reference toward this development. The material contained in this book suggests to the homeowner alternatives from which to choose to attain positive revitalization results for his/her pro-

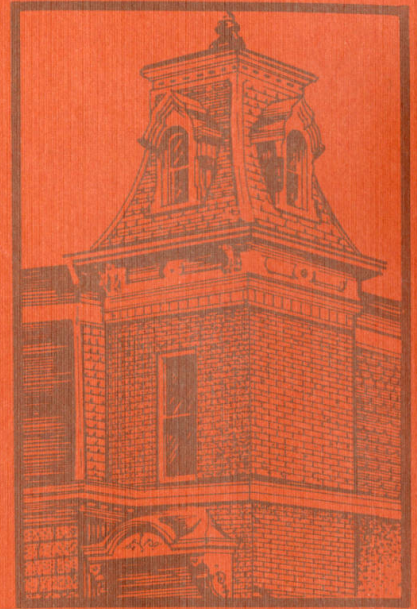
perty and perhaps more importantly contributing to the overall quality of the neighborhood.

Our appreciation goes to all of you, especially the Junior League of Columbus, for giving us the opportunity to participate in the revitalization of such a dynamic neighborhood.

Sincerely,

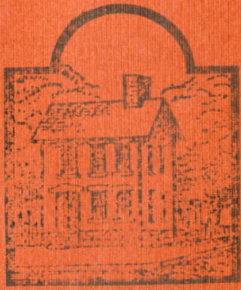

Charles R. Brewer, Jr., Chairman
Department of Architecture





neighborhood information

1



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Franklin County
Gen. & Hist. Society
Columbus, Ohio

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Introduction

The purpose of this publication is to set guidelines for the revitalization of the Town/Franklin Area.

The intent of the guidelines is to demonstrate the following:

- 1 Problems existing in the Town/Franklin Area
- 2 Reasons and importance of revitalization at this time
- 3 Direct methods of achieving revitalization
- 4 Objectives of the Town/Franklin Area
- 5 Immediate results, if the guidelines are followed
- 6 Economics of neighborhood cooperation in self-improvement

Goals

The goal of the Town/Franklin Area Guidelines is to propose solutions to the problems that exist in the physical and visual environment of the neighborhood. The chapters will illuminate the various small and large-scale actions that can be started by individuals toward revitalization or by the neighborhood as a whole. The guidelines are intended to:

- a encourage improvements through private redevelopment and renovation.
- b preserve unique historical and architectural elements.
- c enhance existing deteriorated structures.
- d provide a unifying color scheme for neighborhood structures.
- e propose alternate functions for vacant properties.
- f propose paving, lighting, street furniture, and signage that will be visually consistent.
- g coordinate service areas such as garages, trash receptacles, parking, fences, and enclosures.
- h enhance the physical environment through a consistent landscaping plan.



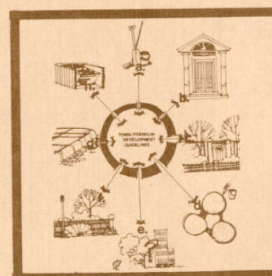
Problems

Basic problems that must be dealt with are:

- 1 Existing crime in the area
- 2 Logical and efficient use of all existing resources
- 3 Lack of diverse land use
- 4 Lack of clear articulation and differentiation between public and private space and its uses
- 5 Weak community identity, due to a lack of consistency in public perception of the area
- 6 Insufficient concern with the quality of the physical and visual environment

Solutions

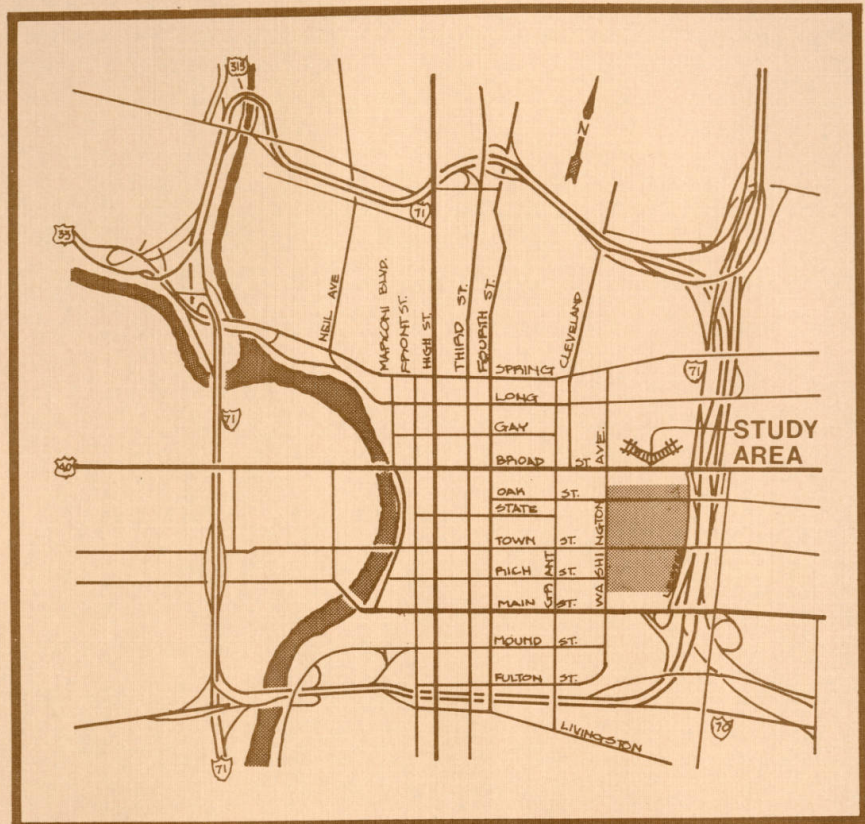
The solution to problems in the Town/Franklin Area will not be found in a set of fixed rules. This would only inhibit free-ranging improvisation and interpretation. Therefore, the purpose of these guidelines is to stimulate choice rather than to control it.



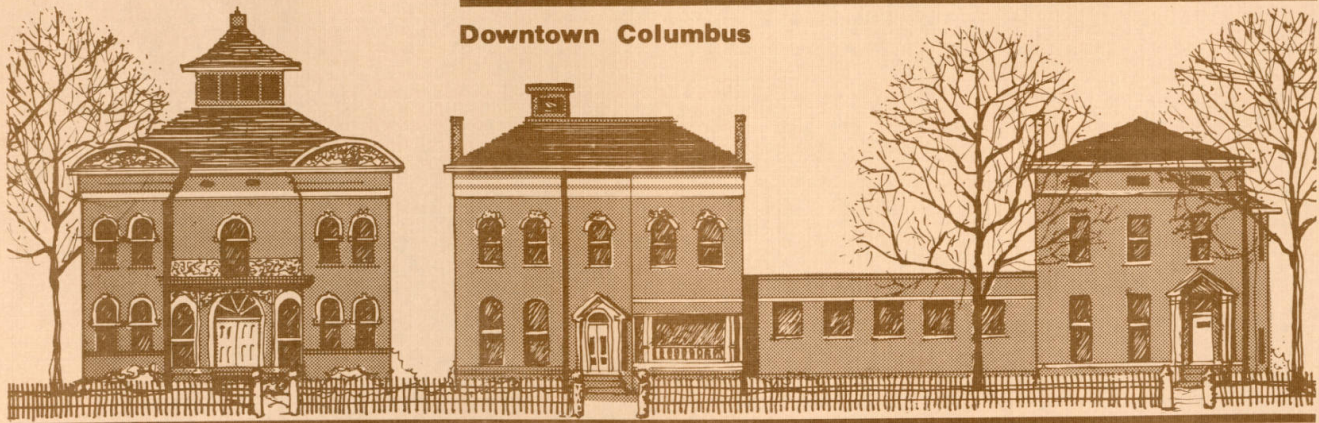
Location

The Town/Franklin Neighborhood is located in the heart of downtown Columbus, Ohio. Its boundaries are defined by Washington and Lester Streets on the West and East, and Oak and Rich Streets on the North and South. From this area, direct access is available to Interstate-71, while residents are minutes from the major commercial, institutional and transportation points in the downtown district.

Unlike Victorian, Italian, and German Villages, Town/Franklin is the only residential neighborhood in the urban core. Many residents of this area withstood the mass migration and subsequent urban renewal projects of the 1960's to preserve the 19th Century architecture unique to the Town/Franklin Neighborhood. Now that there is a migration back to the City, the Town/Franklin Neighborhood is a nucleus of rediscovery for the downtown area.



Downtown Columbus



1.2

Strong Visual Identity

History Index Map

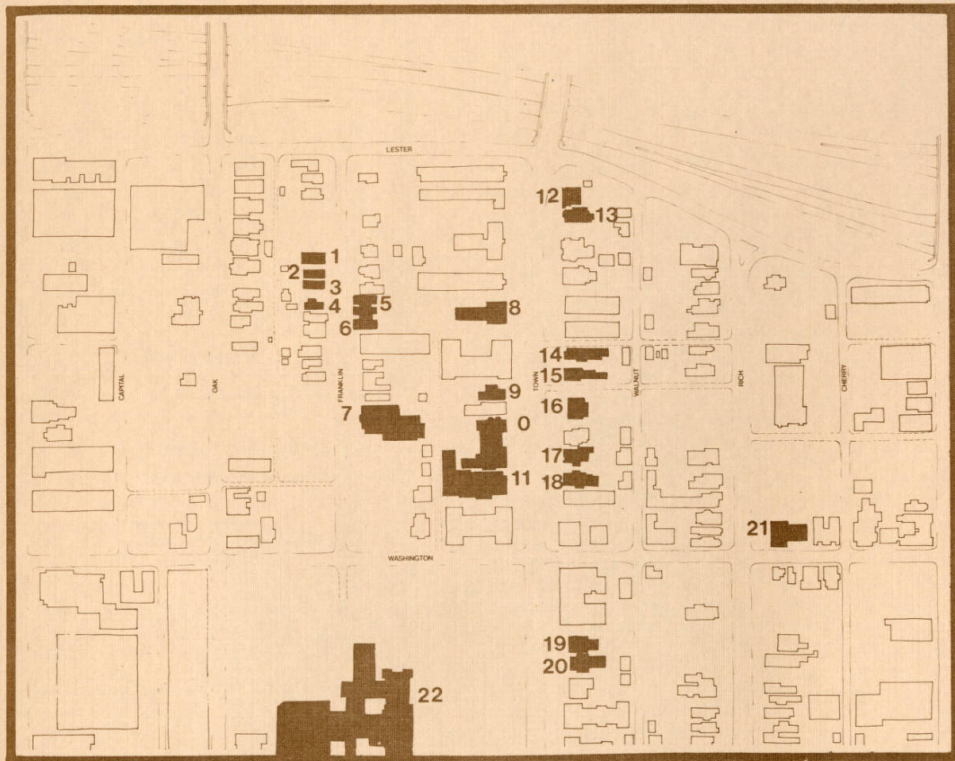
The houses listed and identified as historical in context were chosen on their merit as:

- 1 Prime examples of architectural periods and styles.
- 2 Existing historical buildings of famous people and events.

Legend

- | | |
|---|--|
| 1 | |
| 2 | |
| 3 | |
| Part of Kelton Estate | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| Players Club | |
| 8 | |
| Kelton House | |
| 9 | |
| Frank F. Bonnet House | |
| 10 | |
| Francis Crum House | |
| 11 | |
| Kappa Kappa Gamma House | |
| 12 | |
| Barzellai N. Spahr House | |
| 13 | |
| French Second Empire House | |
| 14 | |
| French Second Empire House | |
| 15 | |
| Italian Villa House | |
| 16 | |
| Site of Galloway House | |
| 17 | |
| Queen Anne style House | |
| 18 | |
| French Second Empire House | |
| 19 | |
| Harry M. Daugherty House | |
| 20 | |
| Heer Residence | |
| 21 | |
| Allen G. Thurman House | |
| 22 | |
| Ohio Institution for the Education of the Deaf and Dumb | |

Existing Structures Map



History

Columbus was established as the State Capitol of Ohio in 1823. Its proximity to abundant natural resources and trade routes attracted business leaders, who recognized the City's potential for economic development.

Many of these early business people lived near the center of the City in neighborhoods such as the East Town Street area, now called the Town/Franklin Neighborhood. These rather wealthy residents were civic minded, church-going, hard-working individuals who took a special pride in their achievements and in their neighborhood. Their homes were sturdily built and finely furnished with materials from around the world.

The Town/Franklin Area was recently included in the National Register of Historic Places. It received this distinction because it displays fine examples of 19th Century that were in danger of vanishing from the urban landscape in recent years. The housing styles blend very well together, and the area as a whole contains more greenery than any other location in the inner-city.

There has been no major building activity in the area since the 1920s. While existing structures have withstood time, many are deteriorating quickly and must receive immediate attention before further damage occurs.

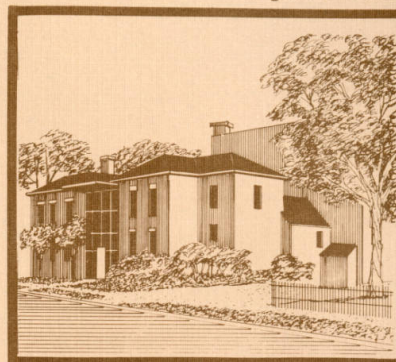
In 1960, Interstate Highway 71 divided the neighborhood and now has been established as the eastern boundary of the Town/Franklin Neighborhood. Later in the 1960s, an urban renewal project was proposed for the neigh-

borhood. The project was redesigned in 1973, and in 1974. a building condition survey was completed to determine whether or not the Town/Franklin Area was blighted. As a result of this study, the Columbus Department of Development considered the Town/Franklin Neighborhood a target area to receive low-interest government loans for revitalization of buildings in the area. However, Town/Franklin is now considered "stabilized" by the Department of Development and they are offering these funds to other sections of Columbus in need of revitalization.

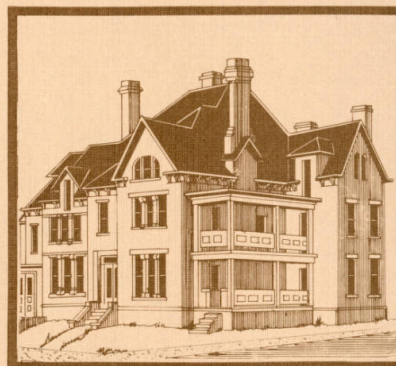
After the turn of the century, many wood frame houses were built in the Town/Franklin Area. Also, Franklin Avenue and Oak Street were developed with both brick and wood structures. Many of these structures now contain apartments that house students from The Columbus College of Art and Design and Franklin University. There is also a large population of elderly and middle-aged people occupying the nearly 1,000 apartment units found in the area.

The Town/Franklin Neighborhood Council is made up of small business owners and private residents of the Town/Franklin Neighborhood. In conjunction with the Junior League of Columbus, this group is attempting to restore the vitality, esteem, and visual integrity to this historic district and reinstall the sense of pride Columbus once had in these fine structures from yesteryear. This publication is the first step in that direction.

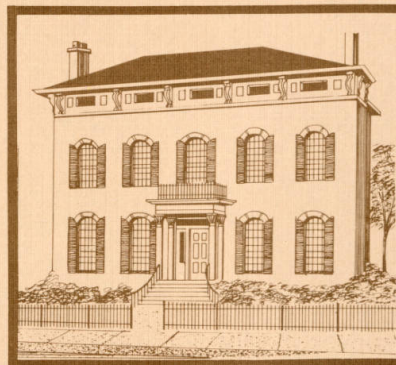
Player's Club



Allen G. Thurman House

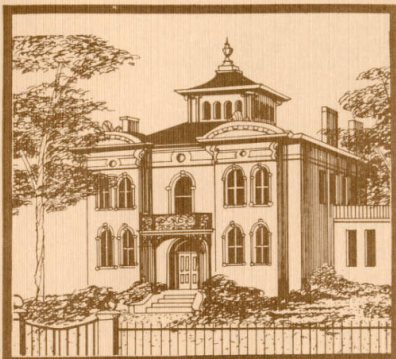


Barzellai N. Spahr House

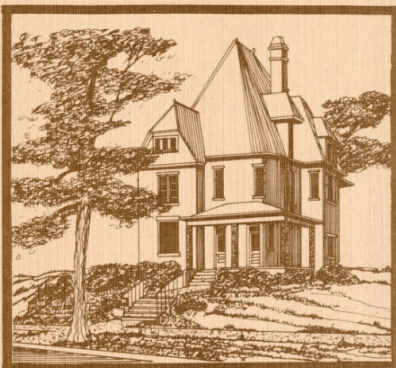


History

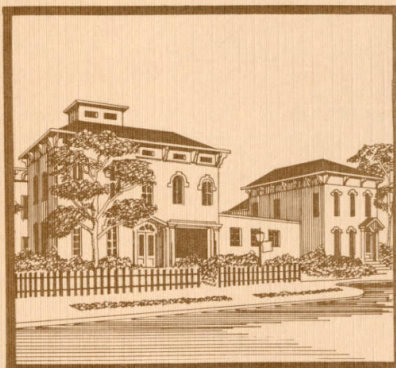
Phillip Snowden House



Harry M. Daugherty House



Francis Crumb House



Listed below are a few of the oldest homes in the Town/Franklin Neighborhood and a few facts about each.

1844 The Benjamin Kelly House, 538 East Town Street. This Italianate style house was joined in 1940 with the adjacent house (circa 1865) and today houses the Alexander Medical Supply Company.

1850 The Phillip Snowden House, 530 East Town Street. Many people believe this house to be the finest example of the Italian Villa Style of architecture in Columbus. It served as the Governor's Mansion during the Civil War, and in 1951 became the national headquarters of the Kappa Kappa Gamma Sorority.

1852 The Fernando Cortez Kelton House, 586 East Town Street. This Greek Revival Style house was an important link in the underground railroad during the Civil War. When its owner, Grace Kelton, died in 1976, the house was left to the care of the Junior League of Columbus for preservation and management.

1873 The Reverend Barzillia N. Spahr House, 621 East Town Street. This Italianate Style house was designed by "Honest" George Bellows, well known Columbus architect and father of the American painter, George Wesley Bellows. Bellows also designed the Ohio Institution for the Education of the Deaf and Dumb, built in 1869. At this particular time in history, Ohio was a leader in providing services to the handicapped.

1879 The Allen G. Thurman House, 513 Rich Street. Allen G. Thurman served as a member of the United States Congress from 1854 until 1868. He then served as United States Senator from 1868 until 1881. He also ran unsuccessfully for Vice President with Grover Cleveland.

The Player's Club, 549 Franklin Avenue. This is Ohio's oldest community theater.

1904 The Harry Daugherty House, 481 East Town Street. Harry Daugherty was a member of the United States Supreme Court and served as Attorney General under Presidents Harding and Coolidge. He appointed J. Edgar Hoover as Assistant Director of the F.B.I. Daugherty's house is a fine example of 19th Century architecture, with its high-pitched roof, veranda, and ornate details.

1882 The Frazier School of Speech, Voice, Public Speaking, and Dramatics, 565 East Town Street. This Victorian Italianate Style house was built by W. H. Richards.

Implementation

City-wide awareness is the initial step toward realization and revitalization of the Town/Franklin Area. It is important to involve political officials, the planning commission, area property owners, and, most importantly, area residents. It is essential that a neighborhood council be created to provide input and support for revitalization. Community involvement and approval are crucial to convert a plan into a program.

Major community business leaders have traditionally been the key factor in development projects, commanding the most effective leadership power to implement successful revitalization programs. Professional architectural design guidance and professional technical and financial assistance are also crucial to the implementation phase of a revitalization project to determine priorities for uses of funding procured for specific areas.

The Neighborhood Council acts as a mediator between area residents, the planning commission, and City Council. The Neighborhood Council also acts as a meeting point for representatives of differing viewpoints in an area to discuss problems and special interests.

With the establishment of a Neighborhood Council and procurement of financial aid, physical changes in the target area will become apparent to the City. Following this, the neighborhood will return to civil development.

In 1974, the Town/Franklin Area was organized into the Town-East District of the downtown business district. Since then, the Department of Development of Columbus, Ohio, has made efforts to secure funding in the form of direct Federal grants through the Community Development Act.

**ALLEY
IMPROVEMENT
LIGHTING
IMPROVEMENT
TREE
PLANTING**

**PARK
DEVELOPMENT
BUILDING
IMPROVEMENTS
AREA
UNIFICATION**

**BUSINESS
DEVELOPMENT
RESIDENTIAL
DEVELOPMENT**

There are various ways in which a community can finance development programs. Many communities successfully revitalize neighborhoods, utilizing Federal planning and categorical grant programs. In some instances, local, Federal, and private sources have been combined to finance public improvement programs, especially in downtown areas. In addition to the Community Development Act, other sources of funding include the following:

DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT--FHA HISTORIC PRESERVATION LOAN PROGRAM.

This program provides insurance on loans by private lending institutions to finance acquisition, construction or rehabilitation of residential property. Structures must be listed on, or certified eligible for, the National Register of Historic Places. Properties within a National Register District are also eligible. The State Historic Preservation Officer, or his designee, must review proposed improvements. Director, Columbus Area Office Department of Housing and Urban Development 200 North High Street Columbus, Ohio 43215

COMMUNITY SERVICES ADMINISTRATION--SPECIAL IMPACT PROGRAM.

This program provides grants to community development organizations in low-income neighborhoods to promote opportunities for business ownership, management training and employment of residents. The grants can cover planning, purchase of real property, technical assistance and loan guarantees. The grants can be applied to the revitalization of older buildings to provide for local neighborhood businesses. Director, Office of Economic Development Community Services Administration Washington, D.C. 20506

Implementation

DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT--COMMUNITY DEVELOPMENT B GRANTS.

DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT--COMPREHENSIVE PLANNING AND MANAGEMENT GRANTS--701 PROGRAM.

Director, Columbus Area Office
Department of Housing and Urban Development
200 North High Street
Columbus, Ohio 43215

COMMUNITY SERVICES ADMINISTRATION--EMERGENCY ENERGY CONSERVATION PROGRAM.

Associate Director for Operations
Community Services Administration
Washington, D.C. 20506

FEDERAL HOME LOAN BANK BOARD--URBAN REINVESTMENT TASK FORCE NEIGHBORHOOD PRESERVATION PROJECTS.

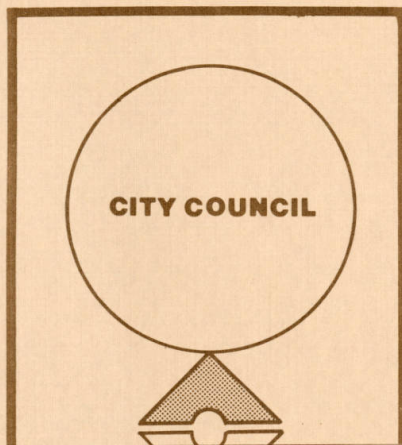
Assistant Director for Neighborhood Preservation Program
Urban Reinvestment Task Force
Federal Home Loan Bank Board
320 First Street, N.W.
Washington, D.C. 20552

NATIONAL ENDOWMENT FOR THE AMERICAN ARCHITECTURAL HERITAGE PROGRAM/COMMUNITY CONSERVATION PROGRAM.

Architecture and Environmental Arts Program
National Endowment for the Arts
Washington, D.C. 20506

HISTORIC PRESERVATION MATCHING GRANTS.

Grants Manager
Ohio Historic Preservation Office
Ohio Historical Center
Interstate-71 and 17th Avenue
Columbus, Ohio 43211
(614) 466-8727



Additional Funding Sources

- 1 FHA Private Loan Insurance
- 2 Capital Improvements Developments Program
- 3 Section 312 Federal Housing Loans
- 4 HUD Entitlement and Discretionary Grants
- 5 Public Works Bills
- 6 Interior Department Matching Funds
- 7 Revenue Sharing Grants
- 8 Reconstruction and Rehabilitation Funding for Historical Buildings
- 9 Grants and aids from corporations interested in the area

1976 TAX REFORM ACT PROVISIONS



Legend

- Motorists
- Powell
- Kelton
- Loving
- Teamsters
- Wilson

hood, will always keep in mind their responsibilities to their neighbors as well as to themselves.

Political Structure

Property Index Map

This map will serve as an important tool for the following four chapters. Buildings are numbered in consecutive order, beginning at Oak Street and ending on Rich Street. Index numbers are cross-referenced with the following:

- 1 Property ownership list (Chapter 1)
- 2 Color chart (Chapter 2)
- 3 Slide file (currently located at the Kelton House)
- 4 Elevations (Chapter 2)
- 5 Property ownership inventory (see Junior League)

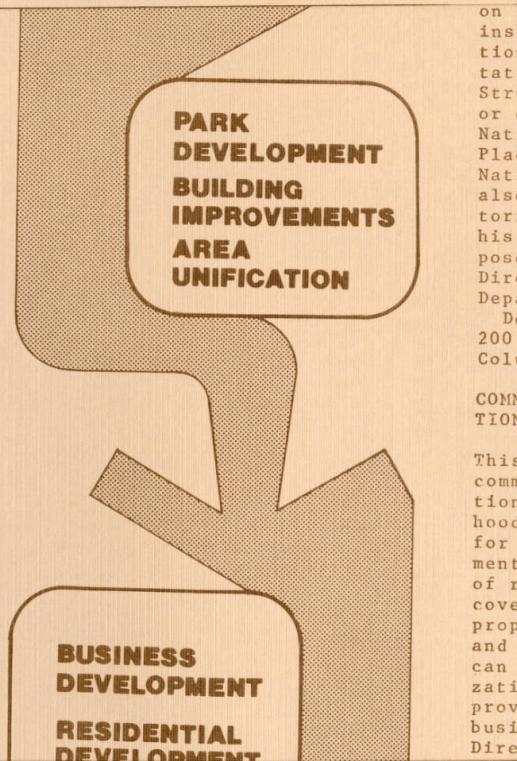
Existing Property Index Map

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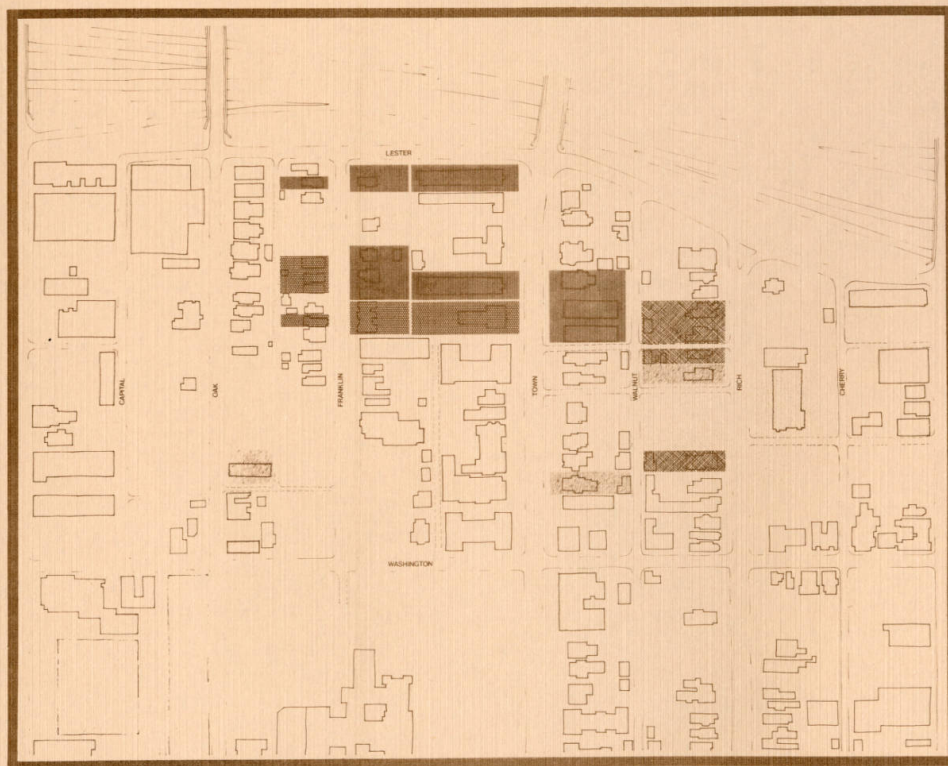
- 7 Individual Structures
- Pc Parking Lots









Property Ownership List

The property ownership list accompanied by the map below covers both multiple property holders and individual property owners. This is important information for joint projects, implementation, and community interaction. Individuals or organizations who own three or more properties within the study area are considered (in this mapping) to be major property owners. However, it must be understood that all Town/Franklin property owners are major property owners as far as implementation is concerned.

Existing Owners Map



Legend

-  Motorists
-  Powell
-  Kelton
-  Loving
-  Teamsters
-  Wilson



Property Ownership List

OAK STREET (South Side)

<u>Index No.</u>	<u>Street No.</u>	<u>Parcel No.</u>	<u>Name</u>	<u>Address</u>
9	515	47012	Motor Building Corp.	
10	519	47012	Motor Building Corp.	
	525	12585	B. & A.J. McCuser	
	529	12585	B. & A.J. McCuser	
11	535	46939	Lovington Arms, Inc.	
			Charles K. Loving	529 East Town Street
Pb	541	27016	Motorist Mutual Ins.	
	541½	4495	Charles Loving	
	545	27013	Motorist Mutual Ins.	
		27014	Motorist Mutual Ins.	
	553	470	Motorist Mutual Ins.	
		48931	Motorist Mutual Ins.	
		52039	Motorist Mutual Ins.	
		39020	Motorist Mutual Ins.	
12	567	30677	Motorist Mutual Ins.	
	573	41342	Stella Blevins	573 Oak Street
	577	38803	Motorist Mutual Ins.	
13	581	16729	Chas. & E.L. Johnson	581 Oak Street
	583	52299	Chas. & E.L. Johnson	581 Oak Street
14	585	16399	Harry P. Shepard	794 Franklin Avenue
15	587	16429	Chas. & Doris Mead	3135 Derby, 43221
	595	3980	Motorist Mutual Ins.	
16	597-601	56984	Chas. & T. Crye	1655 Schrock Rd. 43229
17	603-05-07	46980	Bernard Stockwell	607 Oak Street
18	609-13	38174	Dale A. Bailey and	
19	615-19		Edward R. Hursey	5900 Balboa, Westerville
20	623, 625	47768	Unda L. Utsinger	5547 Chowing Way, 43213
21	627, 629	21748	Dale A. Bailey and	
	631		Edward R. Hursey	5900 Balboa, Westerville

Property Ownership List

FRANKLIN AVENUE (North Side)

<u>Index No.</u>	<u>Street No.</u>	<u>Parcel No.</u>	<u>Name</u>	<u>Address</u>
	532	50846	Motorist Mutual Ins.	
	536	53058	Motorist Mutual Ins.	
	548	31698	Motorist Mutual Ins.	
Pb	552	31694	B. & K.A. Jenkins	
	556	22938	Sarah Robbins	
	562	43649	Joseph E. Ryan	
23	566	16681	Louise Eichenlaub	568 Franklin Avenue
24	568	43648	Louise Eichenlaub	568 Franklin Avenue
25	574	8141	Bernard R. Stockwell	607 Oak Street
26	582	11299	Joan S. Fulford	57 N. Remington Rd.
27	584	26376	Grace Kelton	
28	590	52309	Charles W. Lockwood	c/o Central Ohio Credit Union, 1201 Dublin Rd., 43212
29	594	6418	Grace B. Kelton	
30	598	4419	Grace B. Kelton	
31	602	45080	Grace B. Kelton	
	608	40201	Ryan Corporation	
	612	35837	Motorist Mutual Ins.	471 East Broad Street
			James M. Ryan	
	616	52782	Motorist Mutual Ins.	471 East Broad Street
		52941	Motorist Mutual Ins.	
32	624	10721	John Traikovich	615 Franklin Avenue
33	628	47880	Angelo & Gail Russo	1424 Northwest Blvd.
		42817	Anne Powell	

FRANKLIN AVENUE (South Side)

<u>Index No.</u>	<u>Street No.</u>	<u>Parcel No.</u>	<u>Name</u>	<u>Address</u>
Pc	533	52070	Kappa Kappa Gamma	530 East Town Street
	537	27204	Motorist Mutual Ins.	471 East Broad Street
35	547	46341	Player's Club Fdn.	547 Franklin Avenue
	549	39782	Player's Club Fdn.	547 Franklin Avenue
36	557	31405	Marion M. Harding	557 Franklin Avenue
37	561-565	14507	Huntington Nat'l. Bank	17 South High Street
38	569	38653	Huntington Nat'l. Bank	17 South High Street
		42476	Byers Realty	46 East Town Street
40	581	1689	Grace Kelton	Walter Morris Studio
	583	26068	Grace Kelton	Walter Morris Studio
	587	26069	Grace Kelton	Walter Morris Studio
41	591	52943	Anne Powell	2363 Tremont Road
42	597	52948	Anne Powell	2363 Tremont Road
43	603	46304	Anne Powell	2363 Tremont Road
	611	20384	Otto Beatty, Sr.	41 North Monroe Avenue
44	615	57028	John Traikovich	615 Franklin Avenue
	617	16737	Ohio Appraisal Bureau	
	621	41617	James M. Ryan	Box 2, Canal Winchester Ohio, 43115
			Ronald G. Ewart	
45	625	1754	Anne Powell	2363 Tremont Road
	629	915	Anne Powell	2363 Tremont Road

Property Ownership List

EAST TOWN STREET (North Side)

<u>Index No.</u>	<u>Street No.</u>	<u>Parcel No.</u>	<u>Name</u>	<u>Address</u>
48	518	1696	Town Terrace Ltd.	111 West Dodridge
49	530	18404	Kappa Kappa Gamma Fraternity	530 East Town Street
50	538	52069	McKinley Surgical Supply	538 East Town Street
	219		McKinley Surgical Supply	538 East Town Street
51	556	34967	Lewis McCracken/ Benn Phares, Treas.	556 East Town Street
52	560	2132	Ralph J. Reiser/ L. McCracken, Treas.	560 East Town Street
53	580	42476	Byers Realty	46 East Town Street
54	586	26070	Grace B. Kelton	586 East Town Street
55	600	55877	Anne Powell	2363 Tremont Road
56	602/604	26431	Lepalo, Inc.	604 East Town Street
57	620	10810	Byers Realty	46 East Town Street
58	630	31935	Anne Powell	2363 Tremont Road, 43221

EAST TOWN STREET (South Side)

<u>Index No.</u>	<u>Street No.</u>	<u>Parcel No.</u>	<u>Name</u>	<u>Address</u>
59	513	20201	Rainbow Properties	First Federal Savings & Loan, 247 South High St.
60	525	6721	Rainbow Properties	First Federal Savings & Loan, 247 South High St.
61	529	15849	Norma J. Loving	55 Stanberry Avenue, 43209
62	539	19283	Rolland M. Wege/ City National Bank	c/o Andrew Cary, Plain City, Ohio 43064
63	545	23008	A.A.A. Enterprise, Inc.	104 West Main Street
64	553	4009	Robert A. Butler, Atty.	
65	565	41570	Freda Willson	c/o Ohio State Federal Savings, 85 Gay St.
66	571	25398	Grant-Long Rentals	179 East State Street
67	581-585	35088	Anne Powell	2363 Tremont Road
69	595	57170	Anne Powell	2363 Tremont Road
70	603	53037	Barbara Young, Realtors	603 Town Street
71	613	35071	Indigo, Inc.	c/o Samuel Robinson, 2359 Canterbury Rd. 43221
72	621	31587	Grant-Long Rentals	179 East State Street

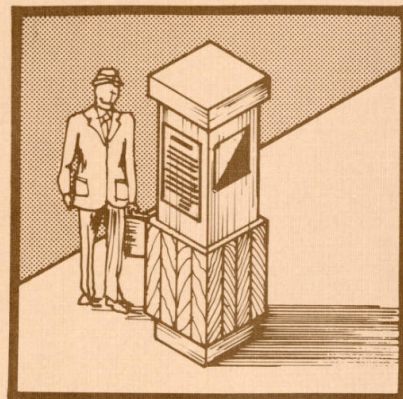
Property Ownership List

RICH STREET (North Side)

<u>Index No.</u>	<u>Street No.</u>	<u>Parcel No.</u>	<u>Name</u>	<u>Address</u>
76	512	53153	Thomas J. & Robert Potts	42 East Gay Street 43215
77	514	43304	Thomas J. & Robert Potts	42 East Gay Street 43215
78	512½ 520	53134 48755	John Schrawger Marguerite Rusk and Clara Bradbelt	
79	526	43506	Blue Ribbon Academics, Inc.	50 East Rich Street
80	534	8022	Blue Ribbon Academics, Inc.	50 East Rich Street
81 Pf	538½ 546	41014 34539	Freda F. Willson The Dale Mann Bldg., Inc.	565 East Town Street
Pf	554	37419	Dale Mann Teamsters Union 413	
Pf	558	67400	555 East Rich Street Teamsters' Parking Lot	
82	566	30042	Charles Loving	529 East Town Street
83	572	30043	Freda Willson	565 East Town Street
84	580	54170	Freda Willson	565 East Town Street
85	588	46360	Freda Willson	565 East Town Street
86	594	37390	Zalman Rosenfeld	
87	600	42394	Lena Rosenfeld, et. al. (5)	409 East Main Street
88	602	33898	Harold H. Voelker	85 East Gay Street

Information Directory

FIRE	221-2345	ELECTRICITY OFF (Day or Night)	222-7627	STREET AND CURB (Maintenance)	268-3573
POLICE 120 West Gay Street	462-4545	Division of Electricity 50 West Broad, #601		Division of Engineering 50 West Broad Street	
ABANDONED VEHICLES (Private Property) Division of Housing 2540 Olentangy River Road	222-7592	GRAPHICS (Sign Complaints) Division of Housing 2540 Olentangy River Road	222-8130	TRAFFIC SIGNALS (Damaged or Removed) Traffic Engineering 515 Short Street	222-7393
ABANDONED VEHICLES (Public Property) Division of Police 120 West Gay Street	462-4545	ICE ON RESIDENTIAL STREET (Salt Truck) Street Cleaning 650 Dublin Road	221-8121	TRAFFIC SIGNALS (Damaged or Removed) (Night) Division of Police 120 West Gay St. (Radio)	462-4660
AIR POLLUTION Central District Office Ohio E.P.A.	466-6450	ICE ON FREEWAY Street Cleaning 650 Dublin Road	222-8121	TRASH COLLECTION Alum Creek 2080 Alum Creek Dr. Georgesville Road 1550 Georgesville Rd. Morse Road 4260 Morse Road	222-7240 222-7353 222-7230
ALLEY MAINTENANCE (Nights) Division of Engineering 1850 East 25th Avenue	268-3573	INFORMATION (City Hall) 90 West Broad Street	222-7300	TREES (Public Property) Recreation and Parks 420 West Whittier	222-7520
ANIMAL BITES Health Department 181 S. Washington Blvd.	222-8191	INSECT INFESTATION (Rat infestation) Environmental Health 181 S. Washington Blvd.	222-7584	WATER LEAKS (Main Water Breaks) Division of Water 90 West Broad Street	222-7788
ANIMALS (Dead, in the street) Division of Sanitation 425 Short Street	222-7230	MAYOR'S OFFICE 90 West Broad Street	222-7671	ZONING ENFORCEMENT 2540 Olentangy River Rd.	222-8130
ANIMALS (Running loose) Franklin Cty. Animal Control Center 1725 Alum Creek Dr.	462-3400	PLAYGROUND (Complaint) Recreation and Parks Franklin Park	222-7342		
BUILDING CONDITIONS (Occupied & Unoccupied) Division of Housing 2540 Olentangy River Road	222-8130	SEWER COMPLAINTS Sewerage and drainage 1600 Deckenbach	222-7102		
BUILDING CONDITIONS (Vacant) Building Regulations 2540 Olentangy River Road	222-7301	SIDEWALK INSPECTION (Damage, Improvement) Sidewalks and driveways 50 West Broad Street	222-7497		
CONSUMER PROTECTION (Attorney General) 30 East Broad Street	466-4986	SNOW REMOVAL (Plow) Division of Engineering 650 Dublin Avenue	222-7497		
		STREET CLEANING Division of Engineering 650 Dublin Avenue	222-8121		





**architectural
elements**

2

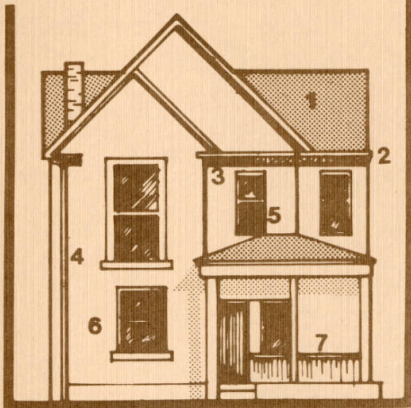
Introduction	1
Facade Vocabulary	2
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Elevations	4
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Gutters	6
Cornices & Downspouts	7
Windows	8
Exterior Walls	9
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Porches & Approaches	11
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Introduction

This chapter presents an overview of architectural elements found in the Town/Franklin Area. The text and accompanying graphics provides a vocabulary through which homeowners can better communicate with professional tradespeople. This discussion, hopefully, will also help each property owner to better appreciate the great number of architectural amenities to be found in the area.

Where To Start?

1. Roofs
2. Gutters
3. Cornices
4. Downspouts
5. Windows
6. Walls
7. Porches



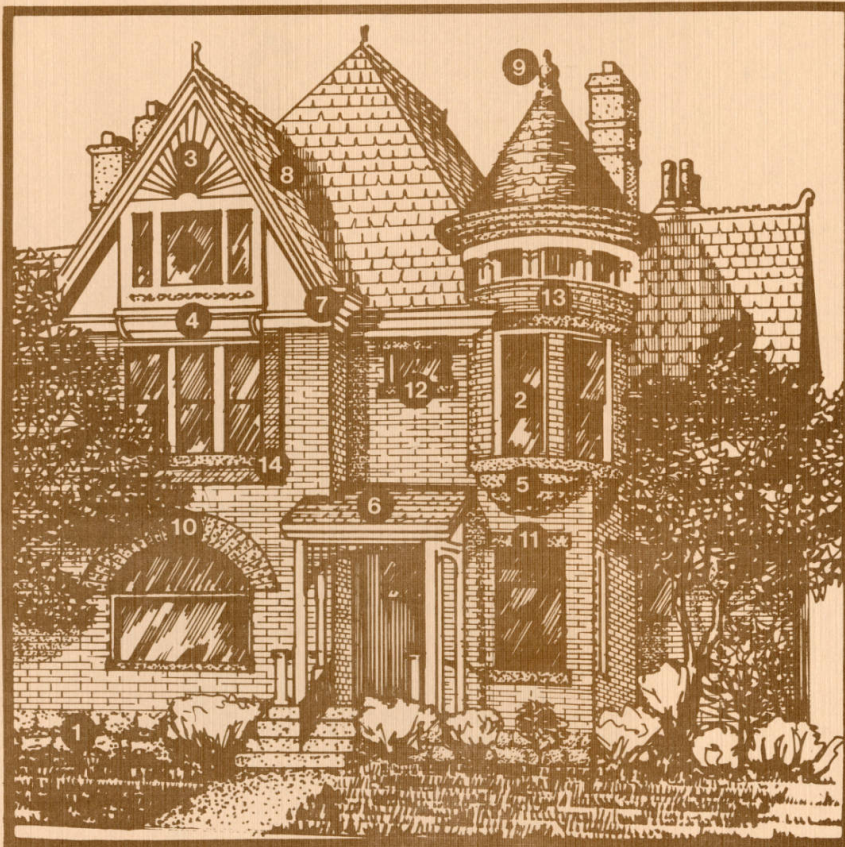
Basic Principles Of Revitalization Of Old Buildings

- 1 Every reasonable effort should be made to provide a compatible use for buildings that will require minimum alteration to the building and its environment.
- 2 Rehabilitation work should not destroy the distinguishing qualities or character of the property. Removal or alteration of historic material or architectural features should be held to a minimum.
- 3 Deteriorated architectural features should be repaired rather than replaced whenever possible. When replacement is necessary, new material should match material being replaced in composition, design, color, texture and other visual qualities.
- 4 Replacement of missing architectural features should be based on accurate duplication of original features insofar as possible.
- 5 Distinctive stylistic features and examples of skilled craftsmanship--which are scarce today--should be treated with sensitivity.
- 6 Many changes to buildings and environments that have been made over the years are evidence of the history of the building and the neighborhood. These alterations may have developed significance in their own right and this significance should be respected.
- 7 All buildings should be recognized as products of their own time. Alterations to create earlier appearances should be discouraged.
- 8 Contemporary design for new buildings in old neighborhoods and additions to existing buildings or landscaping should not be discouraged if the design is compatible with the size, scale, color, material, and character of the neighborhood.
- 9 Whenever possible, additions or alterations to buildings should be done so that if they were to be removed in the future, the essential form and integrity of the original building would be unimpaired.

"The Old House Journal," (Brooklyn, New York, January, 1977) pg. 8.

Facade Vocabulary

Each facade with its architectural details contributes to the total aesthetic quality of the entire block. This drawing illustrates and points out some of the major architectural elements that are found on many of the structures in the area.



ELEMENTS

- 1 base course
- 2 bay window
- 3 sunburst detail
- 4 brackets
- 5 stone corbel
- 6 porch canopy
- 7 cornice
- 8 valley
- 9 finial
- 10 keystone
- 11 lintel
- 12 sill course
- 13 turret
- 14 wall recess

Architectural Analysis

The buildings in the Town/Franklin neighborhood define an urban space much different than any other part of the downtown area. Change of these facades, when undertaken, must reinforce this residential image. In order to consider how to strengthen the quality of the facades in the neighborhood it is important to recognize the common aesthetic principles that are represented in urban environments such as the Town/Franklin area.

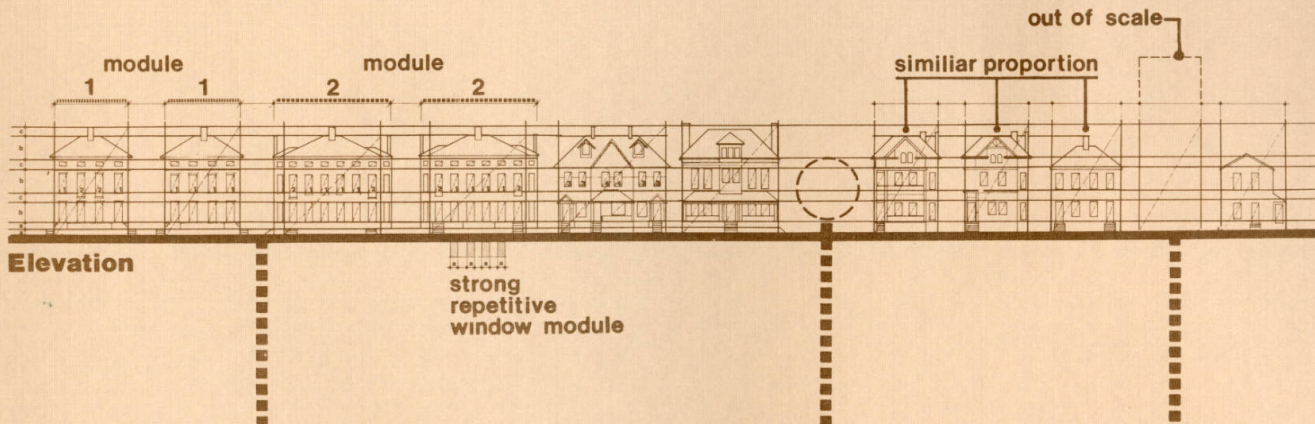
Proportion in architecture and urban design implies a comparison, such as the relationship of the dimensions of the length and width of the rectangular shapes of windows, doors or entire home facades. When similar proportions appear in significant architectural forms within a composition, most persons perceive a desirable sense of harmony which contributes to an overall feeling of unity.

Whereas proportion in architectural language refers to one dimension in comparison with another dimension, scale suggests the comparison of the size of building elements with the human form. Everything we perceive is measured against our own size and we generally feel comfortable and pleased when this measurement provides no unexpected surprises, as when the building is too small or too large, or, perhaps even worse, when the building has too few clues for us to determine the scale it represents. Scale probably contributes more than any other principle toward our personal feeling of comfort or "rightness" about an architectural or urban space.

The human body has an inherent sense of rhythm: the rhythm of breathing, heartbeat, walking, etc. Just as we recognize the natural rhythm of day and night, the seasons and the tides, we

perceive rhythm in architecture. Audible rhythms are discerned in sound and silence over time while architectural rhythms are perceived in repeating accents, such as windows, and backgrounds, such as walls. We are disturbed when established architectural rhythms are interrupted and pleased when they are reinforced or repeated in variation.

Any work of architecture or urban design must have a balance of variety and unity. While a certain level of unity is obviously necessary before an object, space or even an event can be identified in a particular way, an over supply of unity leads quickly to sheet boredom. On the other hand, an excess of variety can produce utter chaos. As with most aspects of life, the best answer here lies in a balance of these extremes of variety and unity.

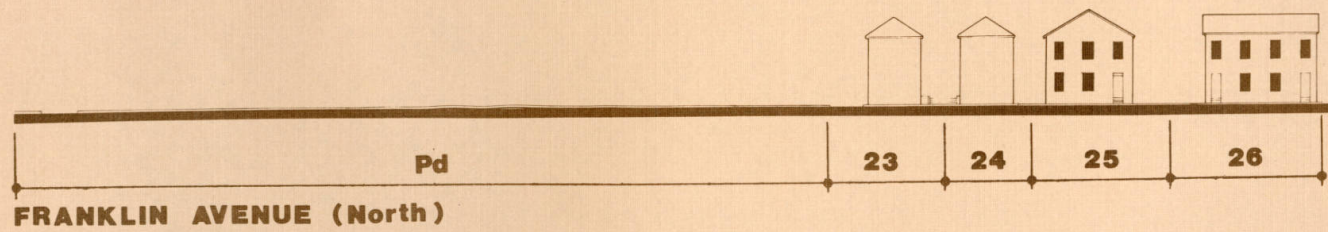
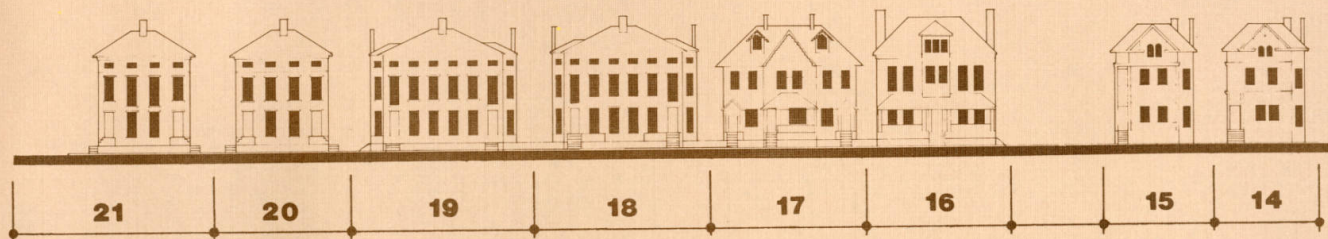
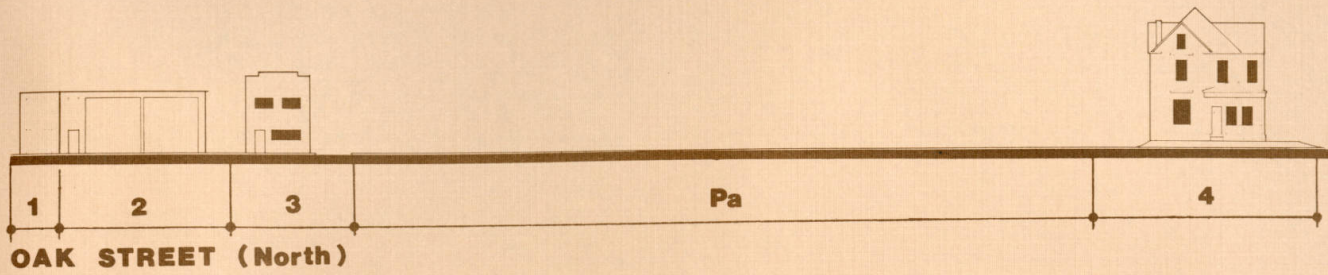


This block has a definite continuity in building height, and window size and spacing. The rhythm is broken by the different building module.

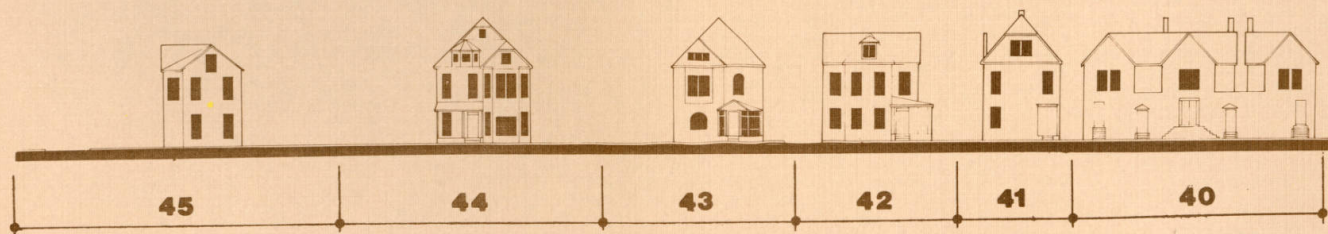
Although a building will establish unity in this space it may not be feasible. A lot can be done to continue the rhythm and continuity of the block by the use of landscape elements like trees, street furniture and paving. Fencing and shrubs may also be used to keep this continuity.

Additions should take its cues off of adjacent buildings. See Chapter 5, Infill Buildings.

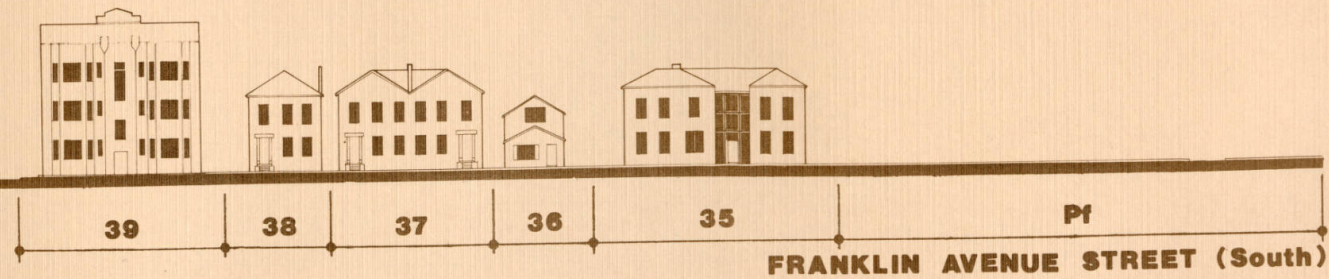
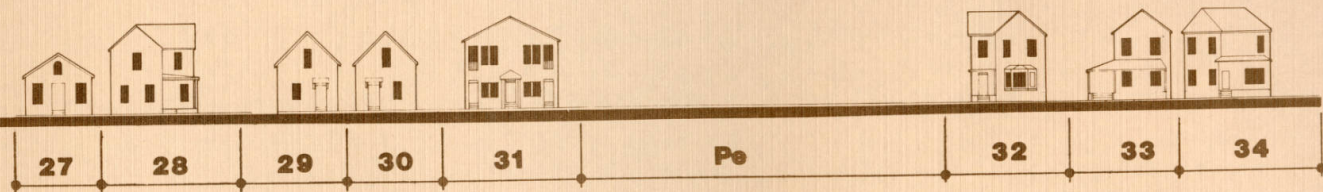
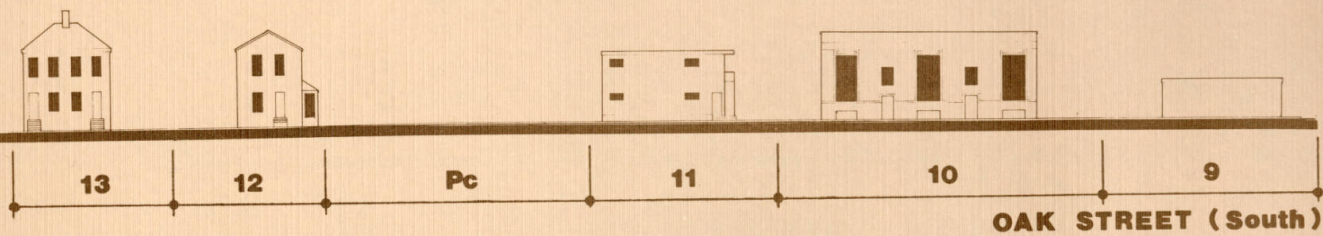
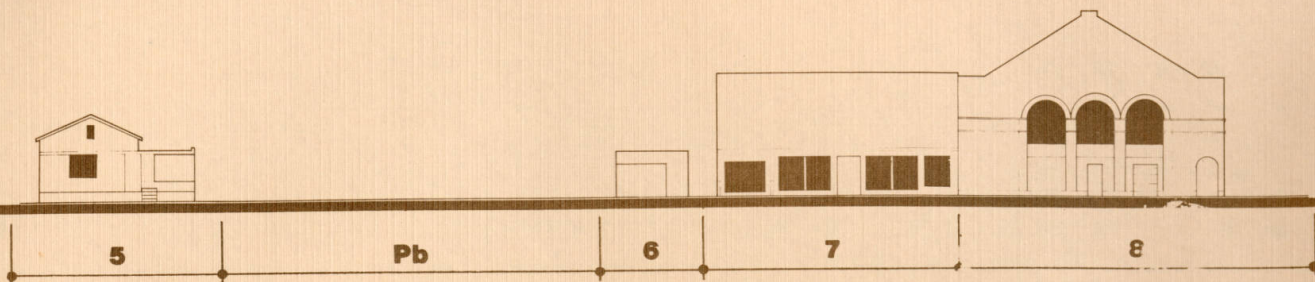
Elevations



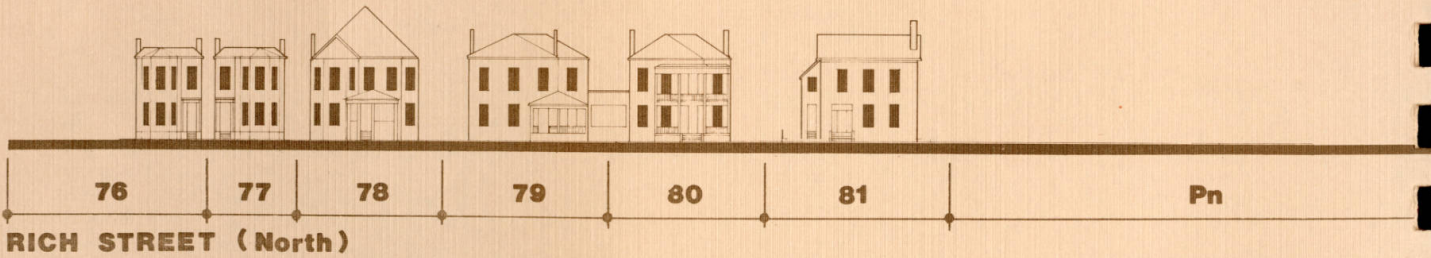
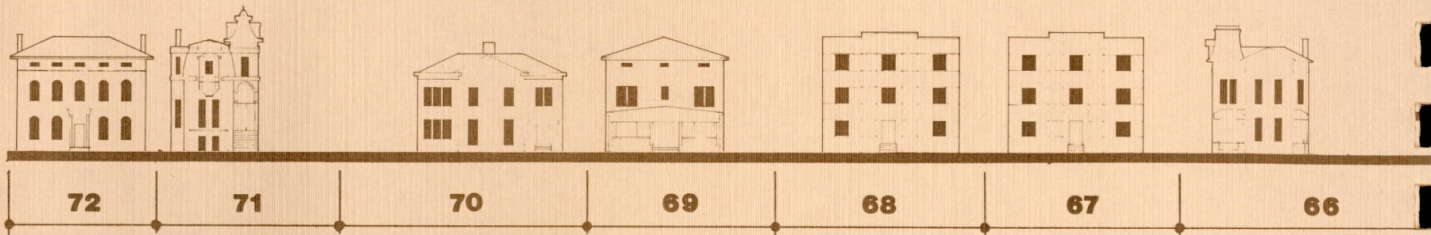
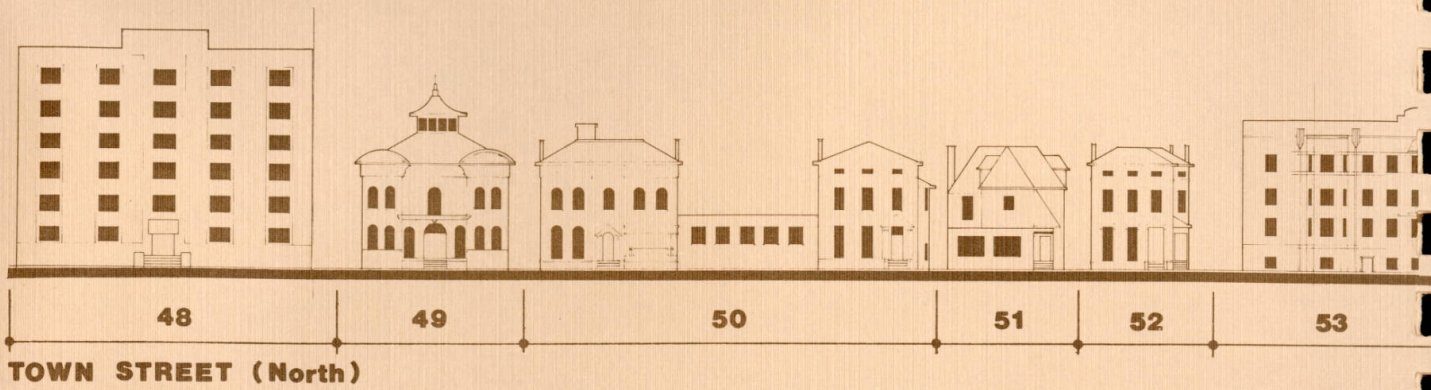
2.4



Elevations

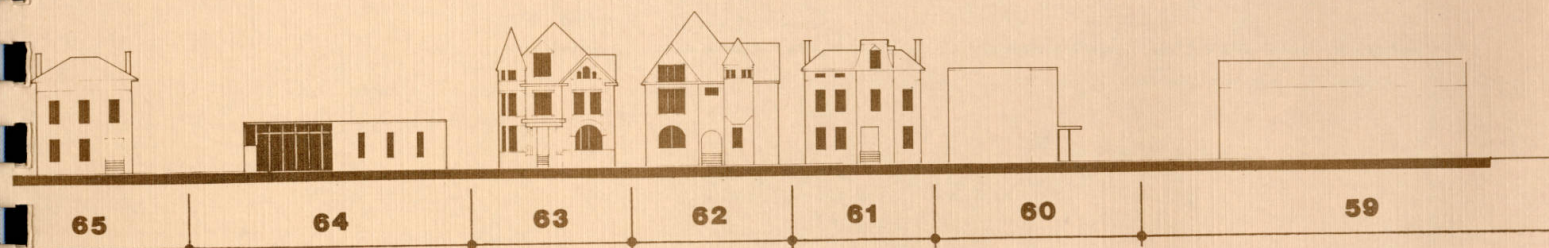
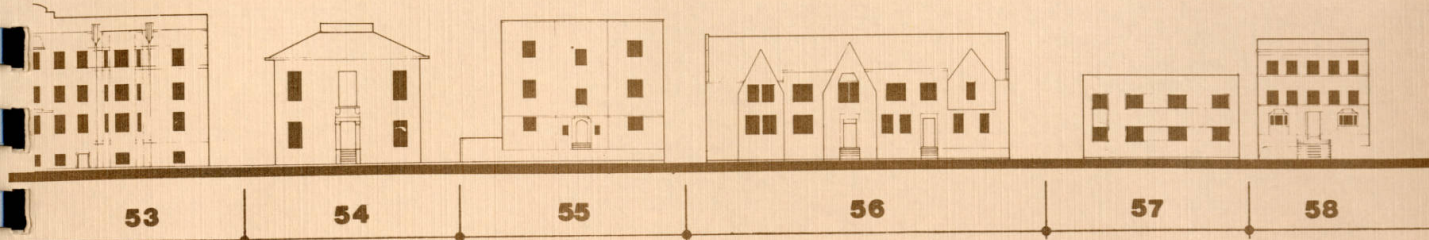


Elevations

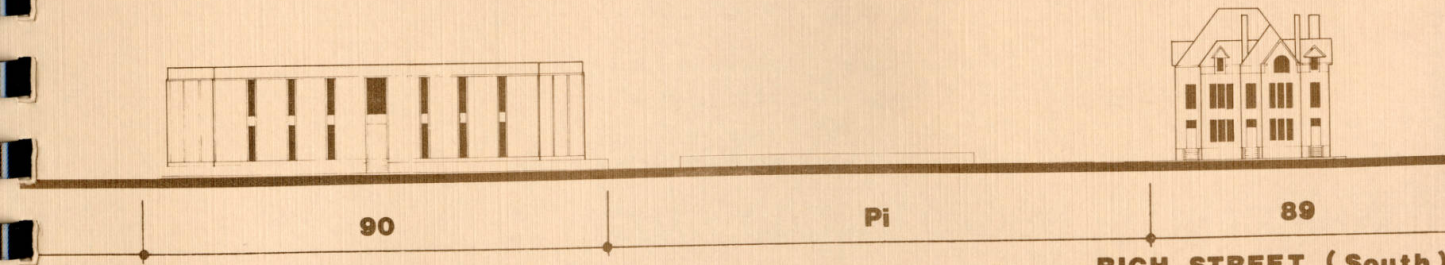
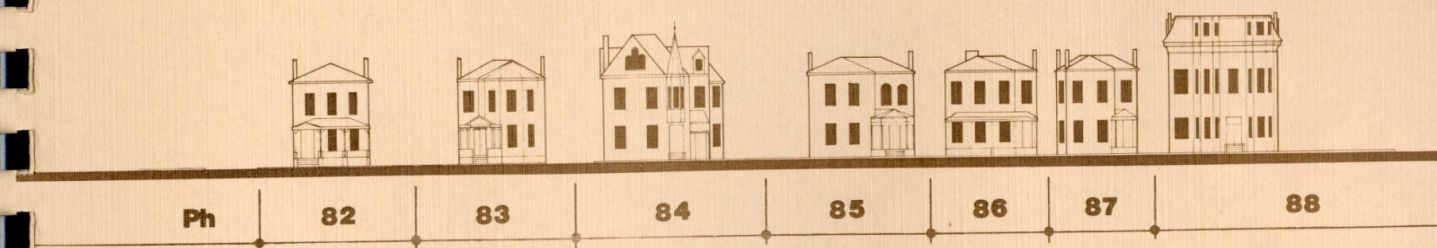


2.6

Elevations



TOWN STREET (South)



RICH STREET (South)

Roof Forms

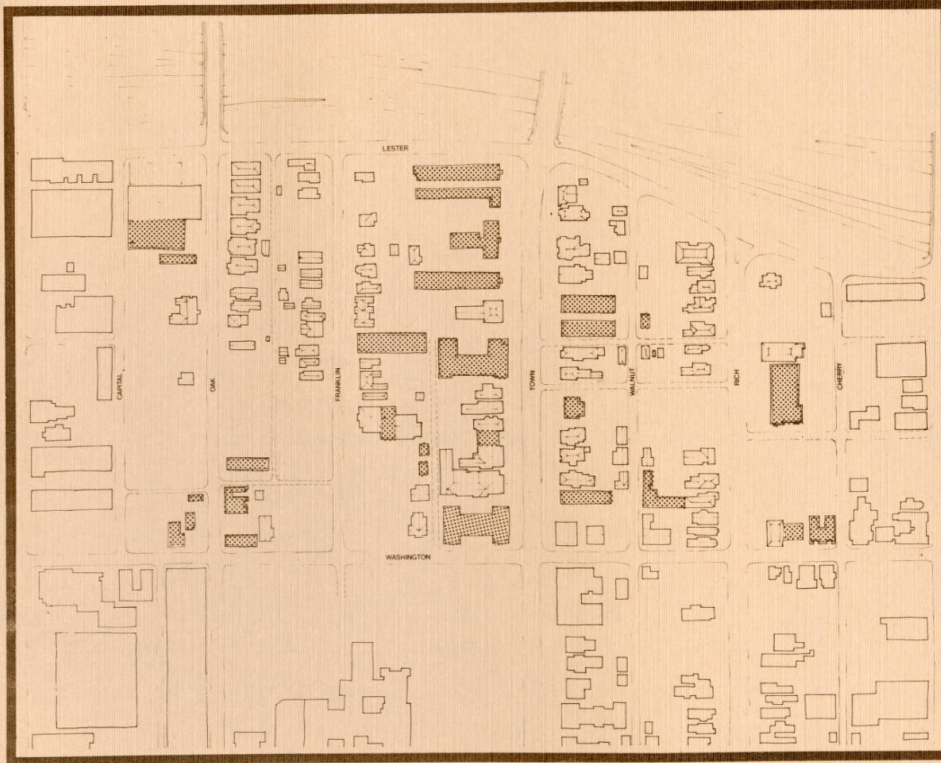
The function of a roof is to protect a building from weather. Since roof form is one of the most dramatic elements found in older structures, care should be taken to respect existing shapes, colors, proportions and textures when a roof is repaired or replaced.

Recommendations

- 1 Preserve the original roof shape and apply new roofing material that is appropriate to the style of the house and the neighborhood.
- 2 Replace deteriorated roofs with new materials that match original materials in shape and texture to avoid altering the appearance of roof forms.
- 3 Replace all features that give character to the roof, such as cornices, chimney, dormer windows, and cresting.
- 4 Install any necessary mechanical equipment so that it cannot be seen from the street.
- 5 Choose a color scheme for a new roof that is consistent with other area structures.

On the following page is an outline of common roofing material together with an analysis of the advantages and disadvantages of each.

Existing Roof Forms Map



Legend

		Hip
		Flat
		Peak
		Gable
		Mansard

Roofs

ASPHALT

Advantages

- 1 Fire resistant
- 2 Wind resistant
- 3 Self sealing
- 4 Excellent color range
- 5 Installation and repair relatively economical.

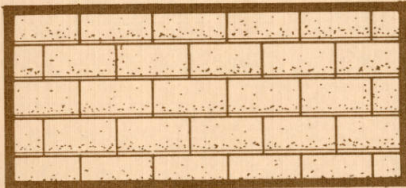
Disadvantages

- 1 Deteriorates after several years.

Unit Cost (100 square feet)

\$50

Note: Costs are given for the Spring of 1978.



CLAY TILE

Advantages

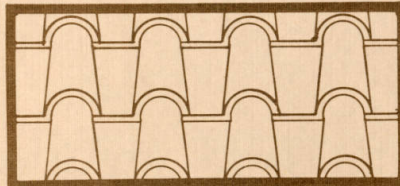
- 1 Durable
- 2 Fireproof
- 3 Requires little maintenance.
- 4 Strong textural patterns available
- 5 Color ranges from yellow-orange to dark red-polychrome

Disadvantages

- 1 Requires special shapes for ridges, hips, rake and eave closures.
- 2 Requires heavier than normal framing.
- 3 Requires heavier than normal roofing felts.

Unit Cost (100 square feet)

\$150



BUILT-UP ROOFING

Advantages

- 1 Can be insulated
- 2 Wind resistant with gravel topping
- 3 Excellent for flat roofs

Disadvantages

- 1 Needs continuous-seal vapor barrier.
- 2 Water ponds and low spots
- 3 Limited color range
- 4 Punctures easily

Unit Cost (100 square feet)

\$35



METAL

Advantages

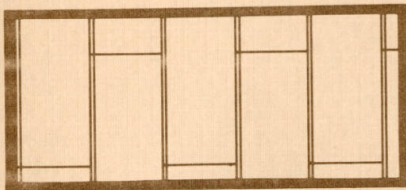
- 1 Strong vertical lines
- 2 Good color range
- 3 Some metals are highly durable.

Disadvantages

- 1 Installation and repair is costly.
- 2 Some metals are highly corrosive.
- 3 Weight

Unit Cost (100 square feet)

\$105



SLATE

Advantages

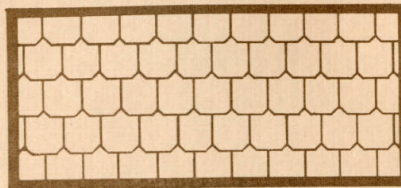
- 1 Extremely durable
- 2 Fireproof
- 3 Low maintenance
- 4 Pre-punched holes for copper nails

Disadvantages

- 1 Requires heavier than normal framing.
- 2 Requires heavier than normal roofing felt.

Unit Cost (100 square feet)

\$175



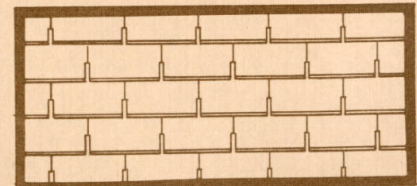
ASBESTOS/FIBERGLASS

Advantages

- 1 Fire resistant
- 2 Weather resistant
- 3 Inorganic
- 4 Rot resistant
- 5 Durable
- 6 Self-sealing
- 7 Excellent color range
- 8 Installation and repair relatively economical.

Unit Cost (100 square feet)

\$90

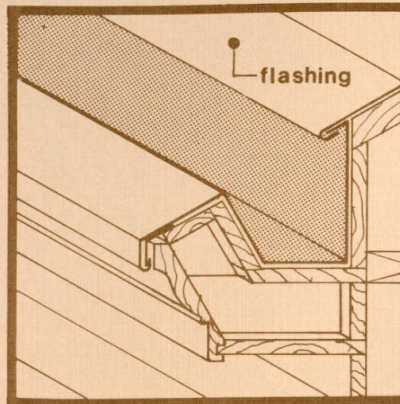


Gutters

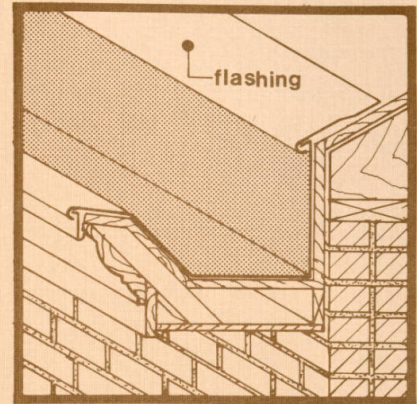
There are two types of gutters used in the Town/Franklin Area. The first type is the box gutter (Figures 1 and 2). This type of gutter is less visible than are exposed gutters, since a wooden box frame completely supports the gutter. Box gutters should be examined yearly for water damage and repaired promptly.

Another type of gutter system found in Town/Franklin structures is the hung gutter. This gutter can be easily replaced or installed with little alteration to the existing roof. It is attached with a continuous cleat which is nailed to the roof sheathing. (Figure 3)

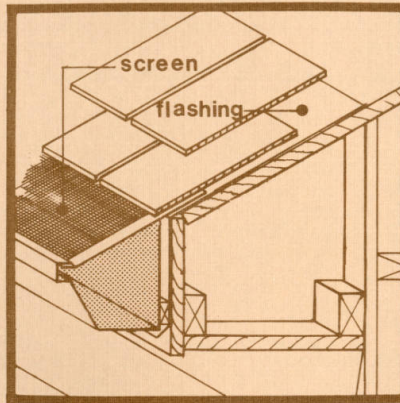
Water diverters (Figure 4) are used to catch water on the roofs of entrances or on canopies. They are not ordinarily used to drain an entire roof.



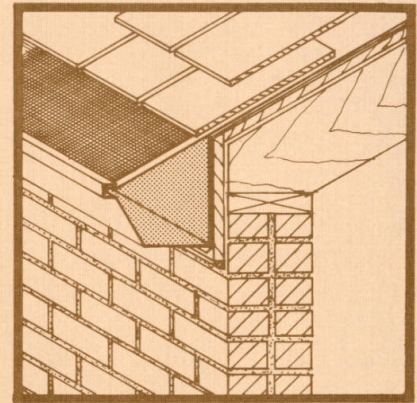
1



2



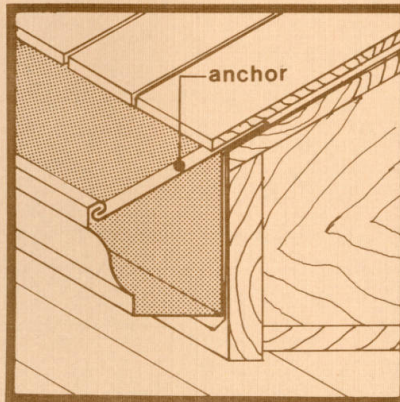
1 Repaired



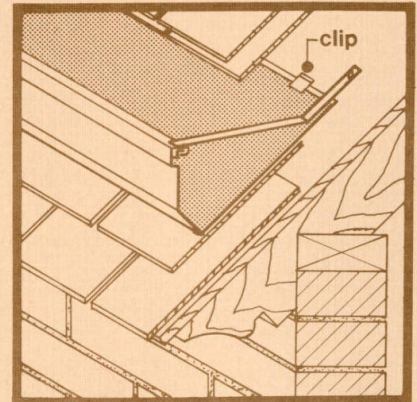
Not Recommended

Recommendations

1. Repair, clean, and paint existing gutters regularly.
2. Install gutters where they do not already exist or are needed. Gutters must be sloped to facilitate proper drainage.
3. Clean gutters of all debris such as leaves which can clog the system and prevent proper drainage. After removing all debris, install screens over gutters to prevent future problems of this type.
4. Repair box gutters by installing metal hung gutters on fascia boards. Box gutters can also be custom fitted with metal linings.



3



4

Cornices & Downspouts

The cornice is the architectural element that is usually the most associated with the ornamental features common to Victorian architecture. The cornice adds to the composition of the building by being the termination point of the vertical composition and adds details that give value scale clues.

Cornices should be checked regularly for maintenance purposes (deterioration, weathering, and detachment from walls), since it is difficult to replace their original design. If the cornices need to be replaced, consult a professional architect to redesign, and/or simplify them.

It cannot be too strongly emphasized that cornices are needed on this style of architecture to complete the design. Every effort should be made to repair or maintain them or, as a last resort, to remove and sensitively replace them.

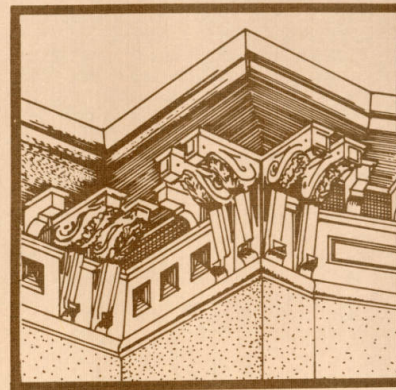
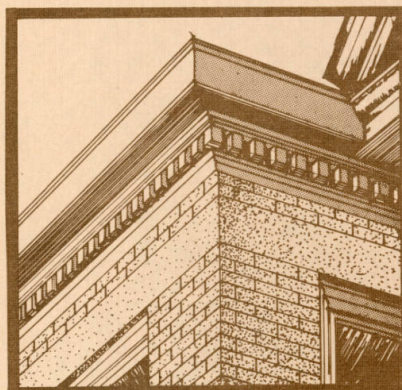
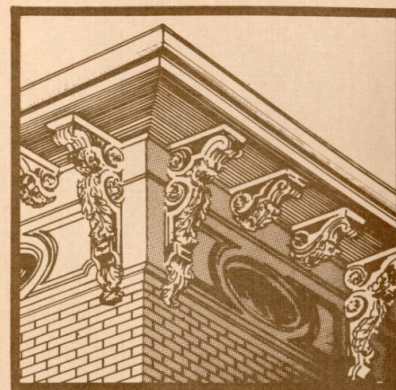
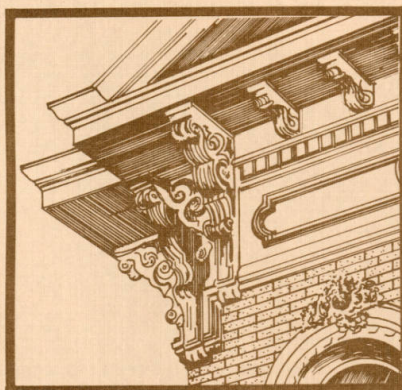
Downspouts





In the Town/Franklin Area, many houses have downspouts which cross their facades, join together and run to the ground. This practice detracts from the appearance of a building.

Downspouts should run down the corners of a house or against its walls, where they join gutters.

Downspouts and gutters assembled in this fashion are more easily maintained and can be flushed of leaves and debris without clogging at oddly angled joints. Splash blocks at bases of downspouts should be provided to absorb the impact of falling water. Splash blocks also alleviate water ponding at bases of downspouts, providing better drainage.

Enclosed downspouts should be avoided, since they may cause leakage problems which are costly to repair.



SHAPE	AREA sq. in.	NOMINAL SIZE in.	ACTUAL SIZE in.
 Plain Round	7.07	3	3
	12.57	4	4
	19.63	5	5
	28.27	6	6
 Corrugated Round	5.94	3	3
	11.04	4	4
	17.72	5	5
 Corrugated Rectangular	3.80	2	1 ³ / ₄ x 2 ¹ / ₄
	7.73	3	2 ³ / ₄ x 3 ¹ / ₄
	11.70	4	2 ³ / ₄ x 4 ¹ / ₄
	18.75	5	3 ³ / ₄ x 5
 Plain Rectangular	3.94	2	1 ³ / ₄ x 2 ¹ / ₄
	6.00	3	2 x 3
	12.00	4	3 x 4
	20.00	5	3 ³ / ₄ x 4 ³ / ₄
	24.00	6	4 x 6

Downspout Chart

Sizing Example

For residential buildings, allow 100 square feet of roof area per square inch of downspout.

Roof area draining into downspout is 25' x 40' or 1000 square feet. To size downspout, divide 1000 square feet by one inch per 100 square feet. The required downspout area is 10 square inches. From the chart, it can be seen that you should choose a four-inch diameter plain round, a four-inch diameter corrugated round, a four-inch corrugated rectangular or a four-inch plain rectangular downspout.

Window Surrounds

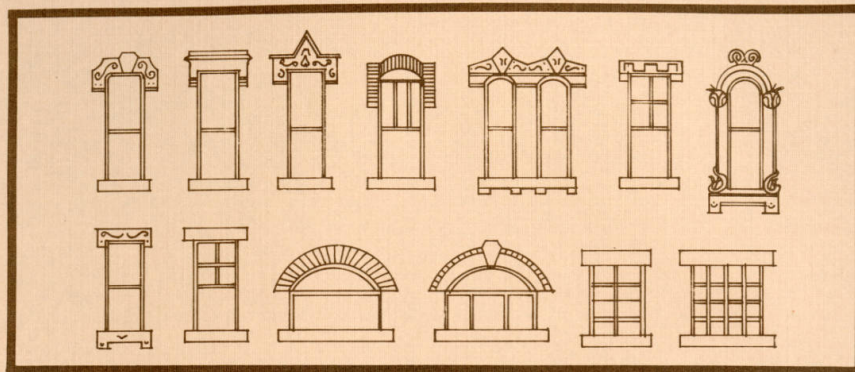
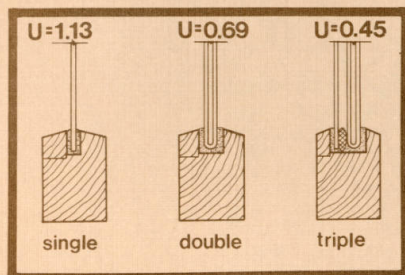
Ornamental window lintels in the Town/Franklin Area contribute significantly to the character of the area. The majority of lintels are stone or wood. Stone lintels should be cleaned and repaired or replaced periodically, if found to be damaged. Wood lintels should also be maintained periodically by cleaning and painting. Missing lintels should be replaced with duplicates or comparable substitutes. Side and rear lintels are generally less ornamental but should be cleaned and maintained nevertheless. Most sills are stone and should be cleaned and maintained periodically.

Commonly used window surrounds are shutters, blinds, and canopies. A common misconception is that these elements add character to old houses.

Shutters and blinds are not recommended for windows with fine detailing on sides of window casings. In such cases, shutters or blinds would completely obscure ornamentation. Shutters and blinds should not be used at ends of picture windows. A single shutter or blind should not be placed between two windows, and vinyl shutters which do not close should also be avoided.

Canopies are used for sun protection and shade and are usually made of canvas or metals such as copper or steel. Canopies are not usually recommended except in special cases.

Window Glazing



Window Examples

Recommendations

- 1 Stone lintels and sills should be cleaned and checked for deterioration periodically.
- 2 Wood lintels and sills should be cleaned and painted periodically.
- 3 If replacement is necessary, it is important to use the same materials and style as the deteriorated materials in 19th Century style. If this is not possible, emphasis should be given to the preservation of the character of the window details.
- 4 Shutters and awnings should only be used if they were used originally or if they can somehow be related to the style of the period of time in which a structure was built.

Energy Concerns

Windows are a major source of heat loss in winter and heat gain in summer. Reducing heat loss and heat gain can result in savings in heating and air conditioning. This can be achieved in a number of ways. Listed below are a few recommendations for this purpose.

Recommendations

- 1 Air infiltration in windows can be eliminated by fixing any leaks and by weatherstripping.
- 2 Double or triple glazing should be used in all windows. This serves as extra insulation which will reduce heat loss and heat gain.
- 3 During cold weather storm windows should be installed. If available, wood storm windows should be used and painted to match the existing trim on the house. If wood is not available, aluminum should be used and should also be painted to match the existing trim.
- 4 Screening devices such as shutters, venetian blinds and curtains should be used for sun control.

Windows

There are several different types of windows used in the Town/Franklin Area, most of them dating from the late 19th to early 20th Centuries. The windows can be divided into two main types: the "decorative" windows, gabled dormer windows, and head windows. The second type which is operational and used for ventilation purposes include the double-hung window and the casement window.

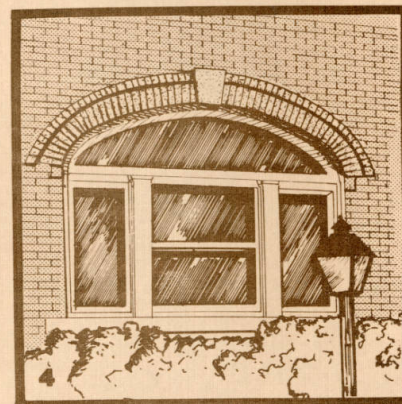
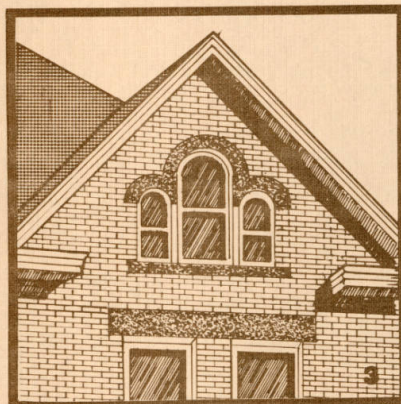
Recommendations

- 1 If one of these windows need to be replaced, the same type or one of similar character should be used. This is important as the window contributes greatly to the character of the house.
- 2 All windows should be checked periodically for leaks and deterioration.
- 3 If any leaks are present they should be repaired immediately. This can be done by re-nailing any loose boards in the window frame and caulking the joint between the frame and the glass.

- 4 Window glass should be clear, colors or plastic materials should be avoided, and where original glass exists it should be protected.
- 5 Window openings should not be walled in. This procedure permanently marring the character of the house.

Window Types

- 1 Bay window: this type consists of an architectural projection with a group of windows in it. It begins at the ground level and may extend upward for any number of stories.
- 2 Oriel window: this is very similar to the bay window, the difference being that the oriel begins at an upper story (not at ground level) and extends upward for a story or more.
- 3 Triple window: this type consists of three windows, the larger center window having an arched head and the small side windows having either an arched head or a flat head.
- 4 Eyebrow window: this type is a low, inward opening window with a bottom hinged sash. They are attic windows and are placed in the architrave of a house.
- 5 Gabled dormer window: these are windows placed in gabled dormers extending from a mansard roof.
- 6 Head window: this is a small window or a top segment of a larger window. They can be either semicircular or rectangular. Some contain patterns of tracery.
- 7 Double-hung window: this is a window with two movable sashes, each of which works in the window frame independently.
- 8 Casement window: in this window, which opens outward, the sash or sashes are hinged on the sides of the frame.

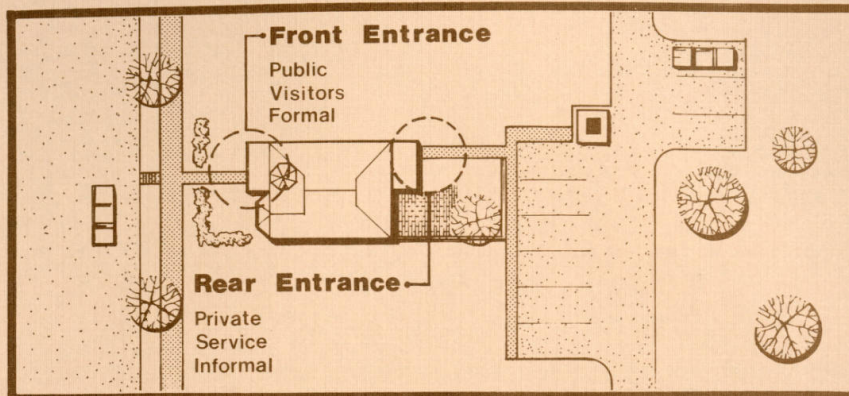


Porches & Approaches

Plan

Porches function as important architectural elements of entry. In addition to entry, porches give the first impression of a building itself. A porch acts as an extension of the entrance from the facade out into the yard, welcoming visitors by offering shelter and serving as a transition from outdoor to indoor spaces.

Porches are often enclosed by materials such as glass, screens, or posts and rails, which serve a variety of functions. A porch can also function as a dining space, an outdoor living space, or a social space.



Types of Porches

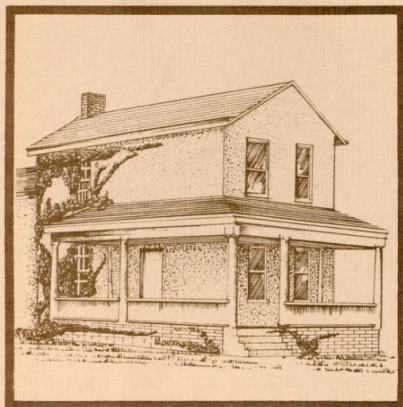
- 1 Front porch and entrance. The front porch and entrance provides access to a house for guests and relates to all major traffic patterns around a building. A front porch and entrance should be a formal space and should create a favorable first impression of a building in visitors.
- 2 Side or service porch and entrance. A side or service porch should provide access to a house through which supplies can be delivered to service areas without compromising the purposes of other entrances to a building.

- 3 Rear porch or entrance. A rear porch should not accommodate outdoor traffic but can be used to pattern indoor traffic to outdoor living areas.
- 4 Corner porch. Corner porches are generally located at corners of buildings and extend along front and side facades. A corner porch can serve either front or side entrances.
- 5 Portico. Porticos consist of covered or roofed spaces at entrances, supported by two or more columns.
- 6 Canopies. Canopies are similar in function, design, and form to porticos except made of stretched canvas.

- 7 Balconies. Balconies can make outside space accessible to upper floor interior spaces. Balconies can also be used as entrances to upper floor private residences in multi-family dwellings or multi-purpose buildings.

Recommendations

- 1 Original porches or porches characteristic to a building style should be maintained or rehabilitated. Porches that have been removed should be replaced with porches similar in design to original porches.
- 2 Original porch trim (wood, iron, or brick handrails, balusters, or columns) should

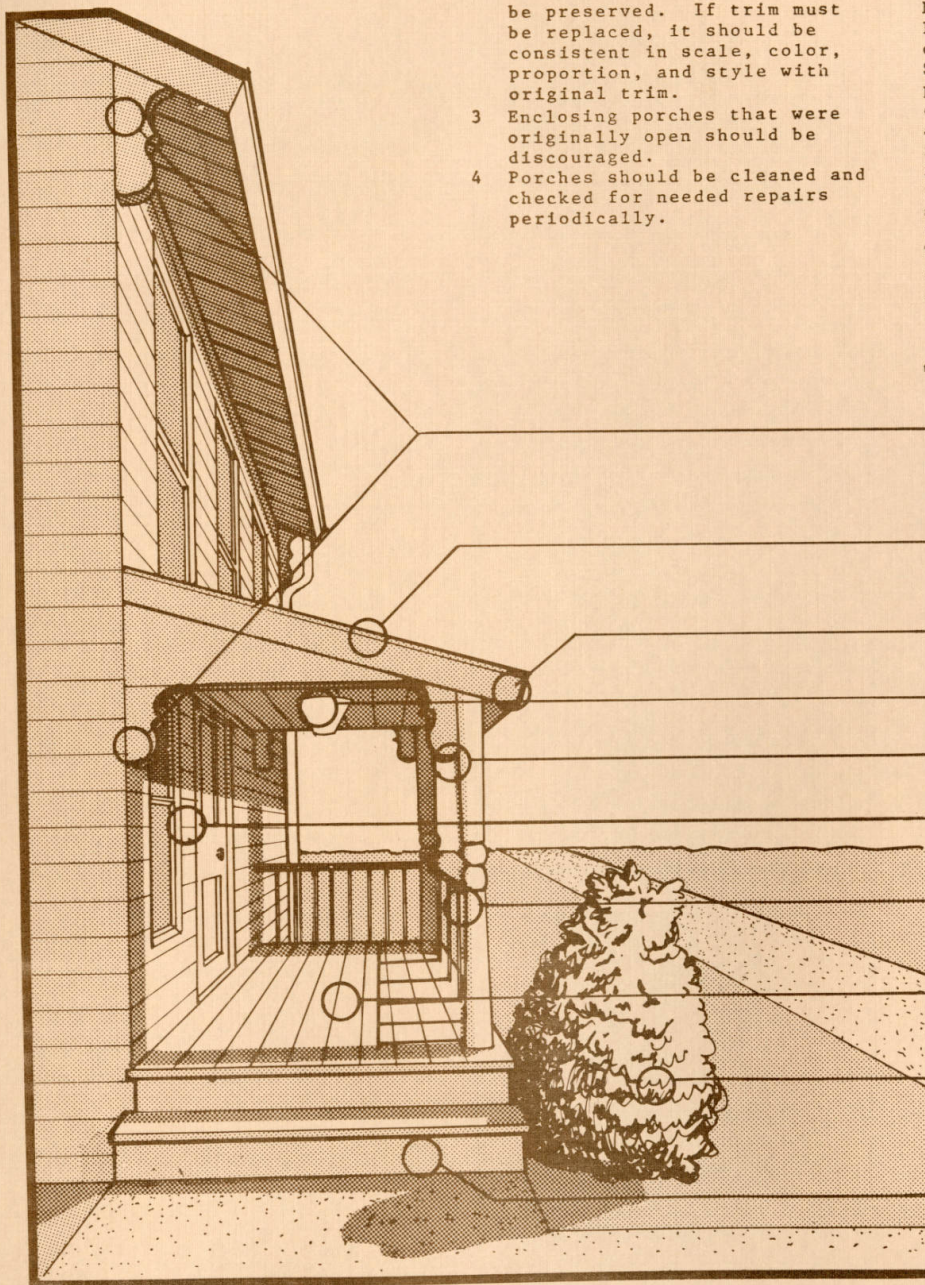


Porches

be preserved. If trim must be replaced, it should be consistent in scale, color, proportion, and style with original trim.

- 3 Enclosing porches that were originally open should be discouraged.
- 4 Porches should be cleaned and checked for needed repairs periodically.

Many of the porches in the Town/Franklin neighborhood are in need of varying amounts of maintenance. Some porches need only a coat of paint, while others need to be completely rebuilt. If there are any doubts about the structural integrity of the porch, a qualified professional should inspect the roof, the underpinnings, the steps, the deck, the piers, and the connections to the house. The drawing on this page gives suggestions on how to preserve and maintain a porch.



Unify architectural styles with similar materials and details

Use similar material as roof

Add gutter system

Add lighting

Paint trim

Weather-strip doors/windows

Restore railings and columns

Add concrete or wood deck

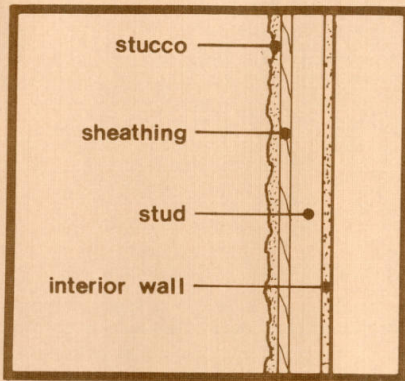
Add complementary planting

Add wood/stone/precast concrete steps

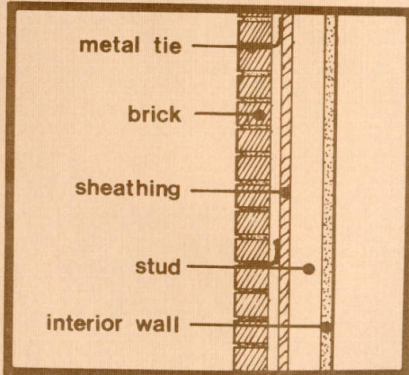
Exterior Walls

The purpose of these exterior wall details is to show, in section, the different constructions of existing walls in the Town/Franklin Area. This knowledge will aid homeowners in repairing or replacing existing walls or in accomplishing these goals through procurement of professional help.

Stucco walls. Repair holes and cracks by using ordinary portland cement. Cut out cracks with a chisel so that the insides of cracks are wider than the outsides. Then, dampen the sides of the cracks and pack them with cement. This can be painted after a few days.

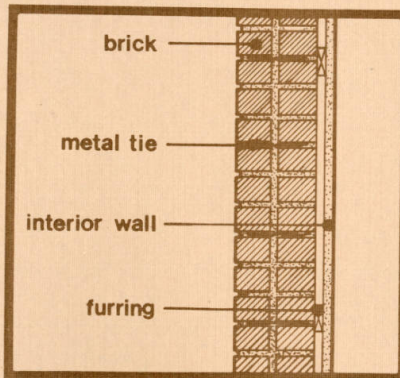


Stucco Veneer

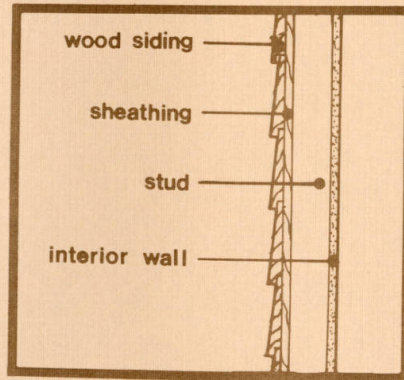


Brick Veneer

Masonry walls. These walls are the most durable. Homeowners should check to see if any large cracks exist, which would indicate that the footing or foundation of a structure has settled a bit. If such cracks increase in size over time, a masonry expert should be consulted to determine if serious structural damage has occurred. Mortar joints sometimes crack and fall out. When this happens, moisture will damage interior surfaces. Mortar joints can be repaired with mortar cement. Clean out loose and cracked mortar with a chisel. Dust out the joint, dampen it, and pack it with new mortar.



Solid Brick



Wood Siding

Wood siding. Minor repair and repainting should be all a homeowner need do to maintain wood siding. Buying and applying new siding is expensive and time consuming, compared to stripping old paint from existing siding. Aluminum or galvanized nails should be used when repairing siding, since they will not rust and stain woodwork.

All exterior walls should be insulated to conserve energy. This can be done in any wall that has a cavity between the exterior and interior finish materials. Cavities should be filled with either blown insulation or fiberglass batts, depending on the situation, but foamed insulation should not be used under any circumstances. Walls that are solidly constructed and have no air space require special treatment before insulating. In other words, such walls must be insulated by furring out from the existing wall before applying insulation. Finish materials on such interior walls should be left intact (furred over) since these materials also act as insulation.

Exterior Walls

Most houses in the Town/Franklin Area have exterior walls of wood, brick, or stucco. These materials age and require periodic maintenance. If the work required is major, professional advice from a carpenter or brick mason should be sought.

Consider when replacing brick:

- 1 color
- 2 texture
- 3 size
- 4 bonding pattern

Recommendations for Brick Walls

- 1 If mortar is crumbling or bricks are loose, tuckpoint to avoid water damage to the interior.
- 2 Clean exterior walls. This can be accomplished by two methods--chemical cleaning or sandblasting. Of the two, chemical cleaning is the preferred method. Sandblasting removes the protective outer layer of brick and this can result in serious water damage to the exterior as well as the interior of the building.
- 3 Following chemical cleaning, apply a masonry sealer to the brick to avoid water damage to the interior and deterioration of soft bricks on the exterior. The most effective sealer has a 10% silicone resin content (commercial grade). Professional grade sealer has a 20% solid parafin base preservative which is applied hot.

Recommendations for Wood and Stucco Walls

- 1 Repair or replace all damaged siding as water entering through damaged walls will cause rot, paint failure, and accelerated deterioration.
- 2 Repair or replace all damaged plaster and apply new paint.
- 3 Restore and paint all decorative trims made of plaster or wood.

Typical Mortar Joints



struck



weathered



flush



con-cave

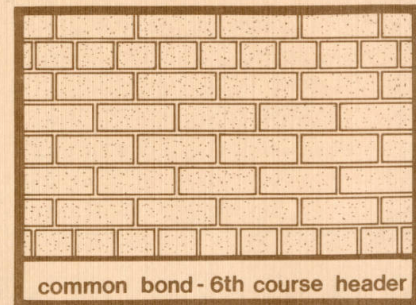
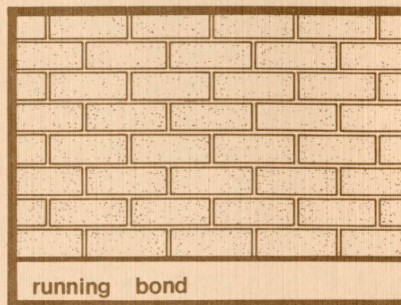
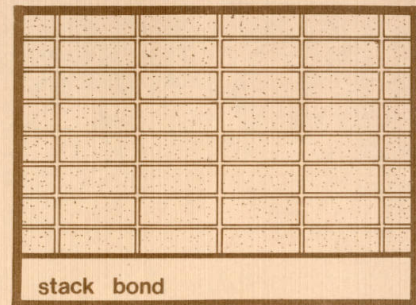
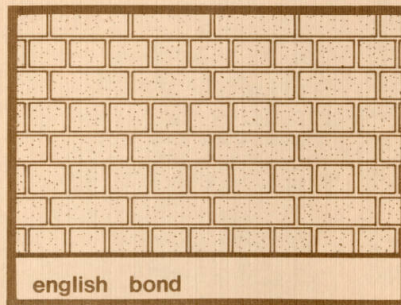
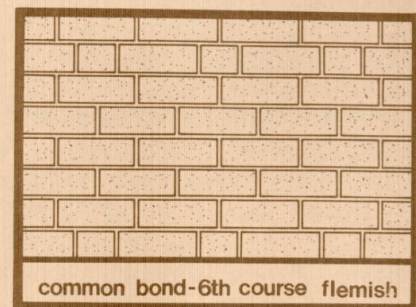
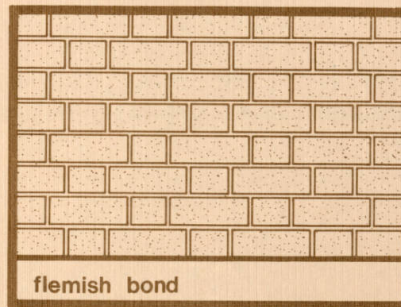


raked



v-shape

Brick Patterns









Material Index Map

This map indicates the major building materials used in the Town/Franklin Neighborhood. The most widely used material is brick; therefore, new buildings should be constructed of brick or a material harmonious in quality to brick in order to maintain the homogeneity of the neighborhood. Professional advice should be sought before planning a revitalization project, to ensure that aesthetic choices (colors, materials, etc.) integrate well with existing structures.

Existing Materials Map



Legend

-  Wood
-  Stucco
-  Stone
-  Brick
-  Concrete Block
-  Metal



Color Index Map

Every building in the Town/Franklin Area has been catalogued and cross-referenced. The buildings are listed by address and index number on the following page. Letters next to addresses correspond to letter classifications on the color chart.

Color harmony visually unifies an area, while allowing individuality among buildings. The purpose of this section is to construct Guidelines from which color choices can be made. The chart suggests base colors for buildings of materials such as stucco, wood, brick, and stone.

It also offers possible combinations for trim and accent colors, giving an owner several options for his building. The Williamsburg Colors (Martin-Senour Paints) were chosen for use in the Town/Franklin Area because they are in character with the colors and building materials used originally. Fidelity to 19th Century color schemes preserves the flavor of historical districts.

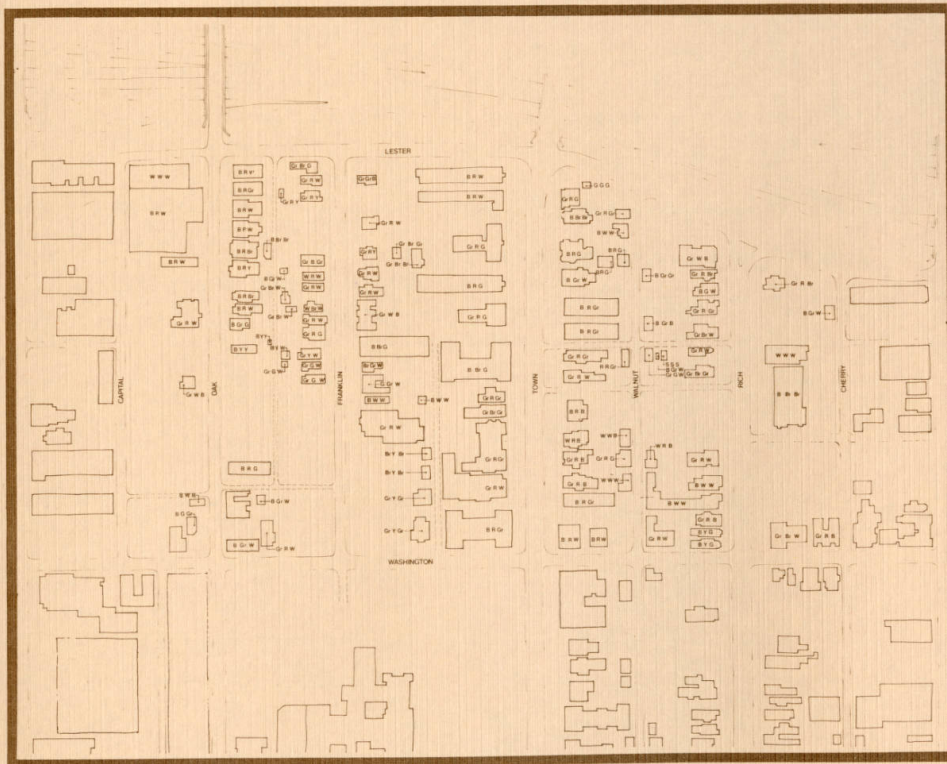
Use of Color Matrix

- 1 Locate building from index number (Chapter 1).
- 2 Find index number on following page.
- 3 Observe code letter.
- 4 Locate code letter on color matrix.
- 5 Note trim and accent color selection on color matrix.
- 6 Make a selection from the choices marked.

Note

Trim, accent, and building colors should all be different but compatible.

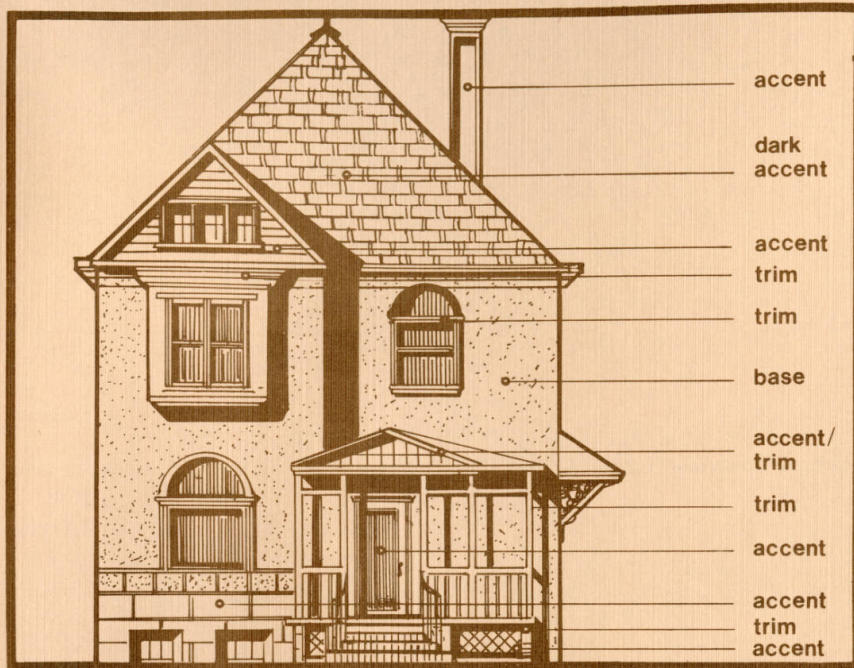
Existing Color Index Map



Legend

B	Black
Br	Brown
Bl	Blue
Gr	Gray
G	Green
R	Red
S	Silver
W	White
Y	Yellow

Color



accent

dark
accent

accent
trim

trim

base

accent/
trim

trim

accent

accent
trim
accent

Town Street (North)

Index No.	Street No.	Code
48	518	C
49	530	C
50	538	C
51	556	E
52	560	C
53	580	E
54	586	C
55	600	C
56	602-604	C
57	620	C
58	630	C

Town Street (South)

Index No.	Street No.	Code
59	513	D
60	525	C
61	529	B
62	539	B
63	545	F
64	553	A
65	565	C, A
66	571	C, A
67	581	C
68	585	F, B
69	595	F
70	603	C
71	615	G
72	621	C
73	513	D
74	196-200	B

OAK STREET (North)

Index No.	Street No.	Code
1		G
2	Texaco	G
3	526	G
4	564	K
5	582	C, B
6	602	B
7	610	J
8	620	L

FRANKLIN STREET (North)

Index No.	Street No.	Code
23	566	F
24	568	F
25	574	G
26	578-582	C
27	584	I
28	590	I
29	594	C
30	598	C
31	602-604	F
32	624	B
33	628	C
34	632	G

Rich Street (North)

Index No.	Street No.	Code
76	512	E
77	514	E
78	520	B
79	526	F
80	530	F
81	538	C
82	566	E
83	572	C
84	580	E
85	584	C
86	594	G
87	600	C
88	604	F

OAK STREET (South)

Index No.	Street No.	Code
10	525-527	C
11	535	C, G
12	573	F
13	581-583	K
14	585	I
15	587	C
16	597-601	C
17	603-607	C
18	609-613	C
19	615-621	C
20	623-625	B
21	629-631	C
22	U.S. Skates	B

FRANKLIN STREET (South)

Index No.	Street No.	Code
35	547-549	C
36	557	L
37	561-565	G
38	569	G
39	Townley Ct.	E
40	583	X
41	591	C
42	597	B
43	603	C
44	615	C
45	625	F
46	124	F

Rich Street (South)

Index No.	Street No.	Code
89	513	H
90	555	A
91	571	G
92	593	B
93	250-252	F

Color Matrix

		Whitewash W970	Peach W61-1156	Biscuit W81-1064	Ivory W81-1073	Buff W62-1161	Beige W62-1161	Beige W62-1157	Fawn W82-1080	Taupe W83-1082	Tan W82-1072	Gold W62-1151	Gold W83-1078	Gold W75-930	Caramel W84-1087	Green W81-1061	Green W62-1152	Sage W82-1079	Green W83-1063	Green W84-1088	Green W84-1077	Green W85-1089	Green W85-1063	Blue W62-1174	Blue W64-1155	Red W76-935	Red W1083	Red W86-1081	Brown W84-1069	Brown W85-1085	Brown W85-1066	Gray W64-1169	Gray W62-1163		
A.	Brick, Brown																																		
	Trim	•	•			•				•		•												•											
	Accent	•								•		•					•							•											
B.	Brick, Dark Red																																		
	Trim	•					•					•								•				•	•							•			
	Accent	•								•		•								•				•											
C.	Brick, Red																																		
	Trim	•		•		•		•					•									•		•	•	•					•				
	Accent	•											•									•		•							•	•	•		
D.	Brick, Orange																																		
	Trim	•								•		•										•	•	•	•					•	•				
	Accent	•		•								•										•		•						•	•	•			
E.	Brick, Yellow																																		
	Trim	•								•				•								•	•	•	•							•			
	Accent	•								•				•								•	•	•	•							•			
F.	Brick, Painted	•		•	•	•																													
	Trim									•	•				•						•		•	•	•					•			•		
	Accent									•	•		•		•					•		•	•	•											
G.	Stucco	•	•	•	•	•	•	•				•			•	•	•						•												•
	Trim	•								•	•				•							•		•	•					•	•			•	
	Accent	•								•	•		•		•						•		•	•										•	
H.	Stone																																		
	Trim	•								•			•											•	•					•	•	•			
	Accent	•								•		•												•	•					•	•				
I.	Asbestos Siding	•																																	
	Trim	•					•					•										•		•	•						•	•			
	Accent	•								•		•										•		•											
J.	Concrete Block	•	•	•	•	•	•	•				•				•	•							•											•
	Trim	•								•	•		•			•						•		•	•					•	•			•	
	Accent	•								•	•		•			•						•		•	•									•	
K.	Wood	•		•	•			•								•	•	•						•											
	Trim	•				•		•		•			•			•						•		•	•						•	•			•
	Accent	•				•		•		•			•			•						•		•	•										•
L.	Aluminum Siding	•		•	•			•		•			•			•	•							•											
	Trim	•				•		•		•			•			•						•		•	•										•
	Accent	•				•		•		•			•			•						•		•	•										•

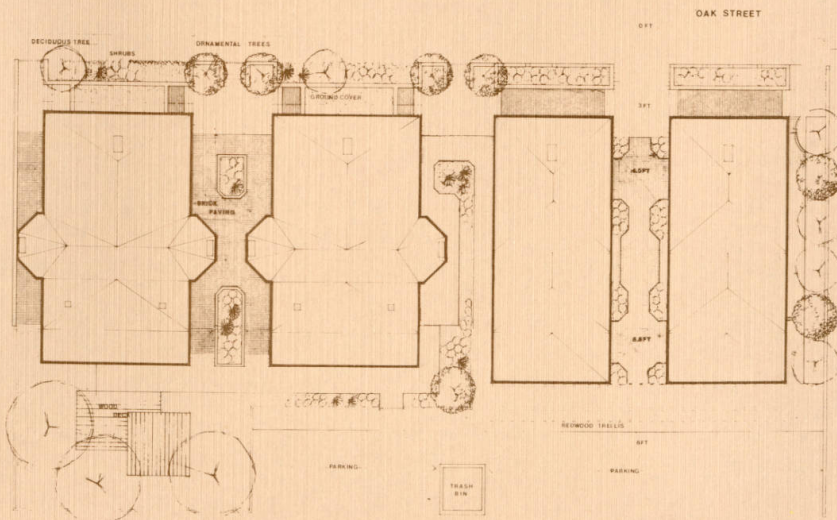
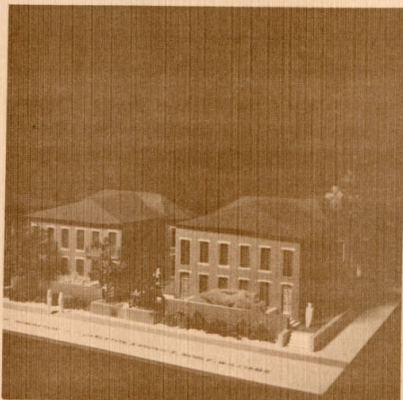
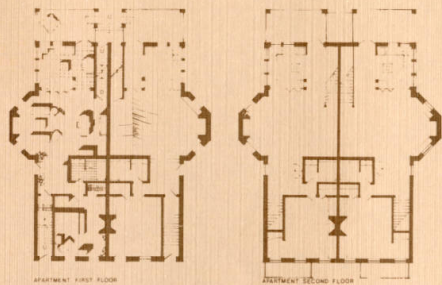
Martin Senour Paints (Williamsburg Colors)

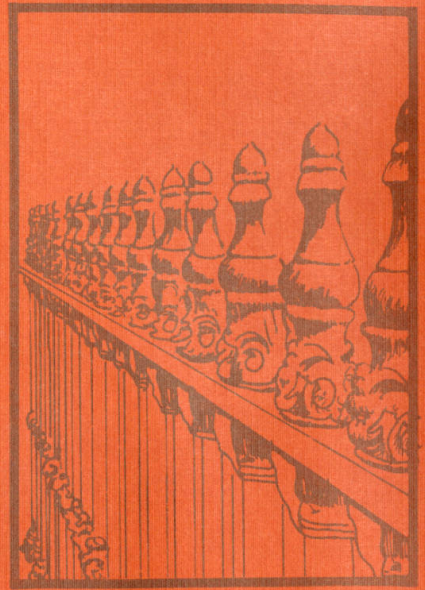
Group Renovation

Although renovation of a single building in the Town/Franklin neighborhood will improve the appearance of a street, the greatest impact can be realized when a group of property owners coordinate their remodeling efforts.

Collective buying of materials and labor can often times result in tremendous dollar savings and better work consistency.

The drawings illustrated are meant not to show a final design solution, but only as idea generators of what could be collectively done with any set of buildings in the study area.





landscape elements

3

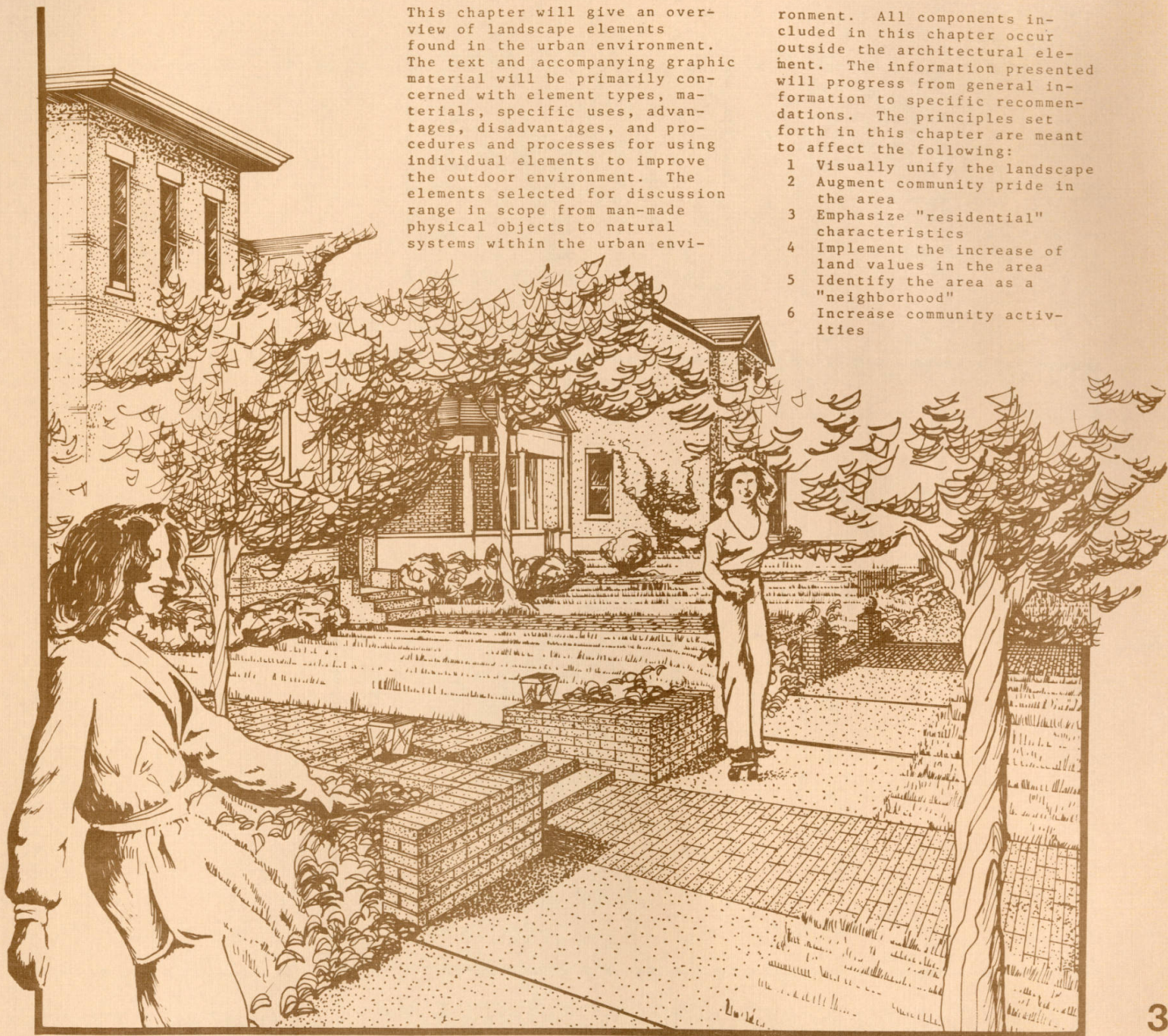
Introduction	1
Circulation	2
Paving	3
Level Changes	4
Vegetation	5
Lighting	6
Fencing	7
Street Furniture	8
Signage	9
Summary	10

Introduction

This chapter will give an overview of landscape elements found in the urban environment. The text and accompanying graphic material will be primarily concerned with element types, materials, specific uses, advantages, disadvantages, and procedures and processes for using individual elements to improve the outdoor environment. The elements selected for discussion range in scope from man-made physical objects to natural systems within the urban envi-

ronment. All components included in this chapter occur outside the architectural element. The information presented will progress from general information to specific recommendations. The principles set forth in this chapter are meant to affect the following:

- 1 Visually unify the landscape
- 2 Augment community pride in the area
- 3 Emphasize "residential" characteristics
- 4 Implement the increase of land values in the area
- 5 Identify the area as a "neighborhood"
- 6 Increase community activities



Circulation

Introduction

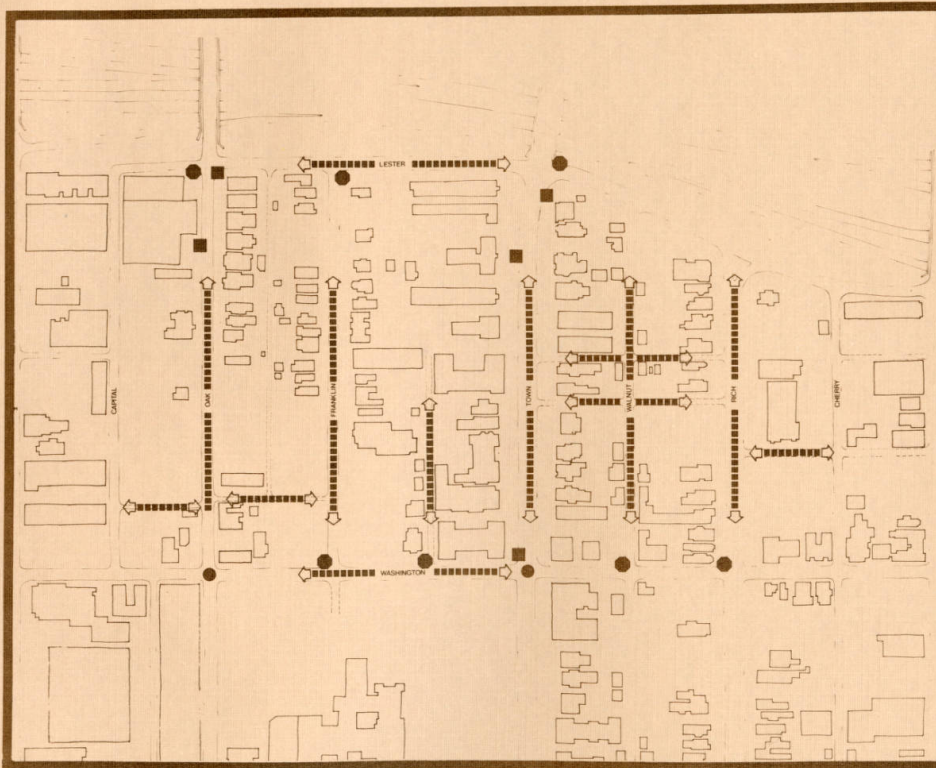
Efficient circulation systems provide safe and unimpeded movement through exterior spaces. Historically, vehicular circulation has dominated urban developments creating dehumanizing and unsafe conditions for residents and users of these areas. To correct this situation in the Town/Franklin neighborhood, people must consider other modes of circulation, i.e., public transportation (primarily busses and cabs), walking and bicycling.



Public Transportation

Town/Franklin is serviced by the COTA Bus system and twelve cab companies. COTA provides access to areas throughout Columbus while taxis cover the entire Franklin county. In order to encourage the neighborhood populations to utilize Columbus's mass transit system, bus shelters should be designed and provided. The facilities should be landscaped with benches, planting/paving, and adequate lighting.

Existing Traffic Conditions Map



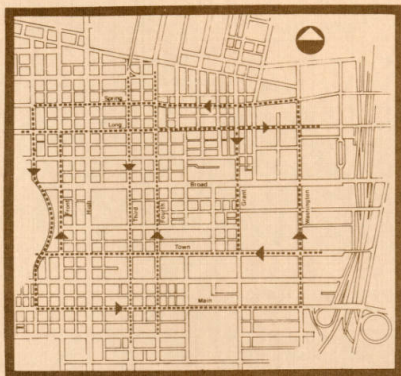
Legend

- Bus Stop
- Stop Sign
- Traffic Light
- ⇄ One Way
- ⇄ Two Way



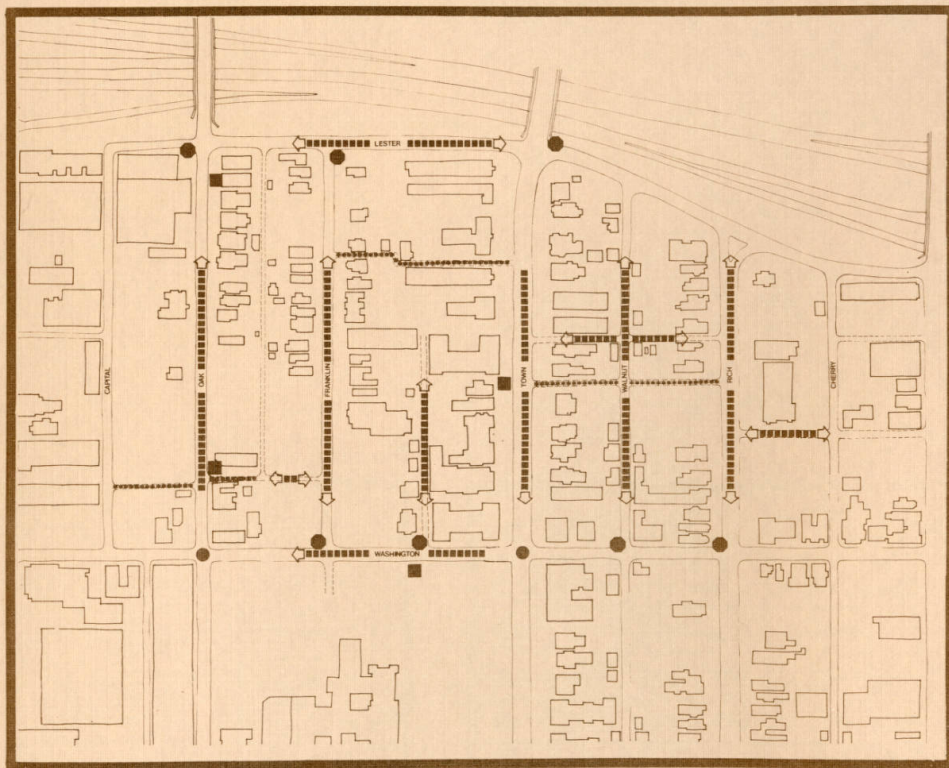
Circulation

To accommodate future traffic demands, studies have been done by the City of Columbus (Department of Development) considering changing Town and Main Streets to one way circulation routes as far east as the interbelt. This would create 2 circular patterns of traffic surrounding the downtown hub. This change would reduce the effects of the evening rush-hour on the residents of Town/Franklin by moving the city's outward flow of traffic to the outskirts of the neighborhood, therefore creating a more residential atmosphere.



Proposed City Traffic Map

Proposed Traffic Conditions Map



Legend

- One Way
- Two Way
- Bus Stop
- Stop Sign
- Traffic Light
- Pedestrian Walkway

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FRANKLIN COUNTY
GENEALOGICAL SOCIETY
← 88-17



Circulation

Parking

The storage of automobiles requires space. It is unavoidably a troublesome element in residential and moderate density areas. In most of the older residential neighborhoods in Columbus, the parking problem is handled by one of the following methods:

- 1 street system curb parking
- 2 parking lots or structures
- 3 alley parking (Chapter 4)

Curb Parking

Curb parking is expensive because it requires easily accessible and expensively paved space. It causes safety and vehicular problems. On street parking in the Town/Franklin neighborhood can be improved in the following 2 ways:

- 1 segregation of parking

By reserving the street parking for short term use public use (visitors) and the alley system for longer term private use (residents), a more consistent pattern of parking availability could emerge.

2 safe crosses

These strips of planting and paving break up the long lines of cars and provide a safe area for pedestrians to view traffic before crossing a street.

(See diagram on following page)

Parking Lots

Presently the Town/Franklin neighborhood has many surface parking lots. Because they occupy vast areas of land and are highly visible from the major streets, an extra special consideration should be given to their physical appearance.

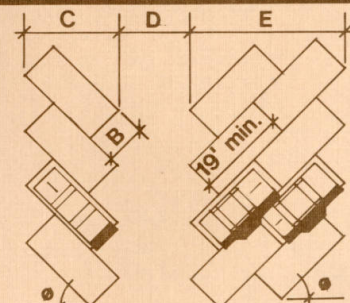
Basic criteria for designing a successful neighborhood parking lot are:

- 1 proper location
- 2 sufficient size of stalls and circulation
- 3 circulation flow
- 4 type of user and period of use
- 5 lighting for safety and convenience
- 6 proper maintenance procedures
- 7 visual attractiveness, i.e., neighborhood harmony.
- 8 neighborhood desires

Recommendations

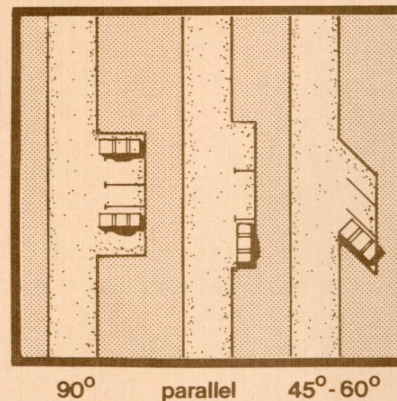
- 1 Use minimum stall size of 9 feet by 19 feet
- 2 Use chart below for adequate dimensions
- 3 Break large lots into smaller car groupings with landscaping, i.e., mounds, planting, islands, etc.
- 4 Provide adequate lighting (see Chapter 3 and 4 for type and size (14 feet) and spacing (50 feet) of luminaires).
- 5 Emphasize pedestrian routes by using brick paving patterns or exposed aggregate concrete/planting islands.
- 6 Orient car stalls so that pedestrian circulation moves parallel to vehicular circulation; not perpendicular to it.
- 7 Paint stall lines with white paint.
- 8 Pave all parking lots and driveways with concrete, brick or asphalt.
- 9 Provide trees in the parking lot (1 tree per 5 stalls).
- 10 Do not tear any more buildings down in the area in order to build parking lots. Develop residential parking off of the existing alley systems.

Dimension Chart



Angle °	B	C	D	E
30°	9.0	17.3	11.0	26.8
45°	9.0	19.8	13.0	33.3
60°	9.0	21.0	18.0	37.5
70°	9.0	21.0	19.0	38.9
80°	9.0	20.3	24.0	39.0
90°	9.0	19.0	25.0	38.0

Parking Types



Circulation

Pedestrian Circulation

Pedestrian travel is the most ignored form of circulation despite the fact that everyone relies on walking as a form of transportation.

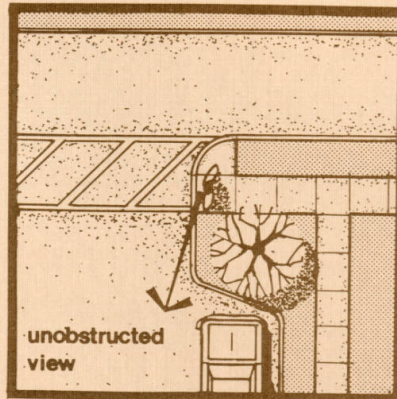
In order to increase pedestrian safety and enable them to feel more comfortable in their urban environment. The pedestrian path must have a stronger identity.

Recommendations

- 1 Rest areas should be provided along major walkways.
- 2 Pavement should have a human scale.
- 3 Where possible vegetation should be used to separate pedestrians from the streets.
- 4 Minimum width for sidewalks of single-family dwellings should be four feet.
- 5 Public walkways should be six to eight feet wide.
- 6 Sidewalks, like street pavements, should be crowned or have $1/4$ " per foot cross slopes.
- 7 Maximum grade for a walkway should be five percent.
- 8 Widened, level spaces should be provided at all intersections to accommodate congestion in pedestrian circulation.
- 9 Paving materials should be firm and fixed, allowing for traction when wet.
- 10 Paving and construction joint should be flush and minimal in width.
- 11 Minimum height for canopies should be eight feet over pedestrian paths.

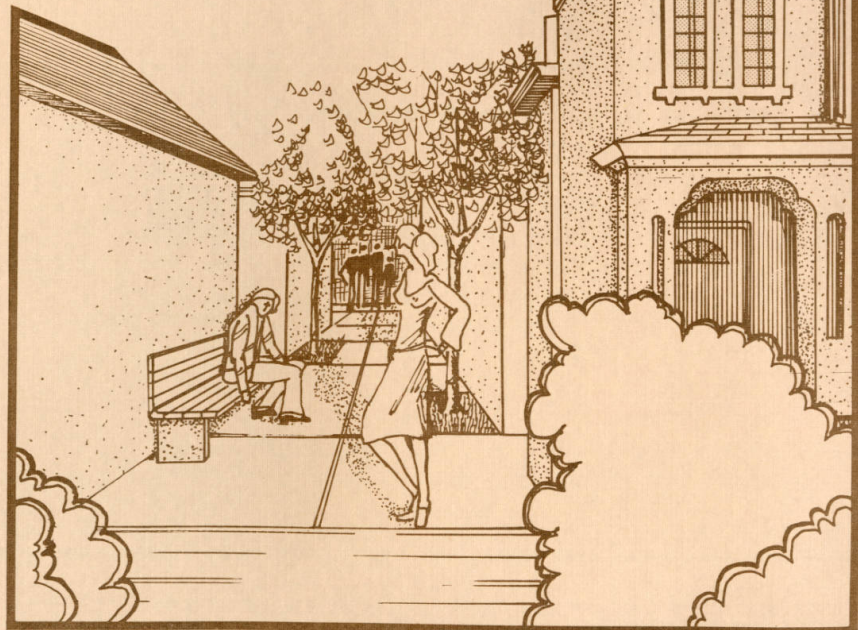
Handicapped Circulation

- 1 Minimum width for passage required for a person on crutches is 32".
- 2 Critical dimensions of wheelchairs are: Length--42", Width--25", Fixed turning radius--31.5", Vertical reach--54", and horizontal reach--28".
- 3 Ramps and curb-cuts should be installed at intersections



Safe Cross

to facilitate bicycle and wheelchair circulation. Their minimum width is 26" with a slope of 8 percent.



Walkway

Pedestrian Walks

To use available space to its maximum potential and create a more residential atmosphere Everett and Galloway alleys could be transformed into pedestrian walks. These alleys lend themselves to pedestrian circulation because they are at the center of the area and serve as links between the major streets. They are now minimally used by vehicles.

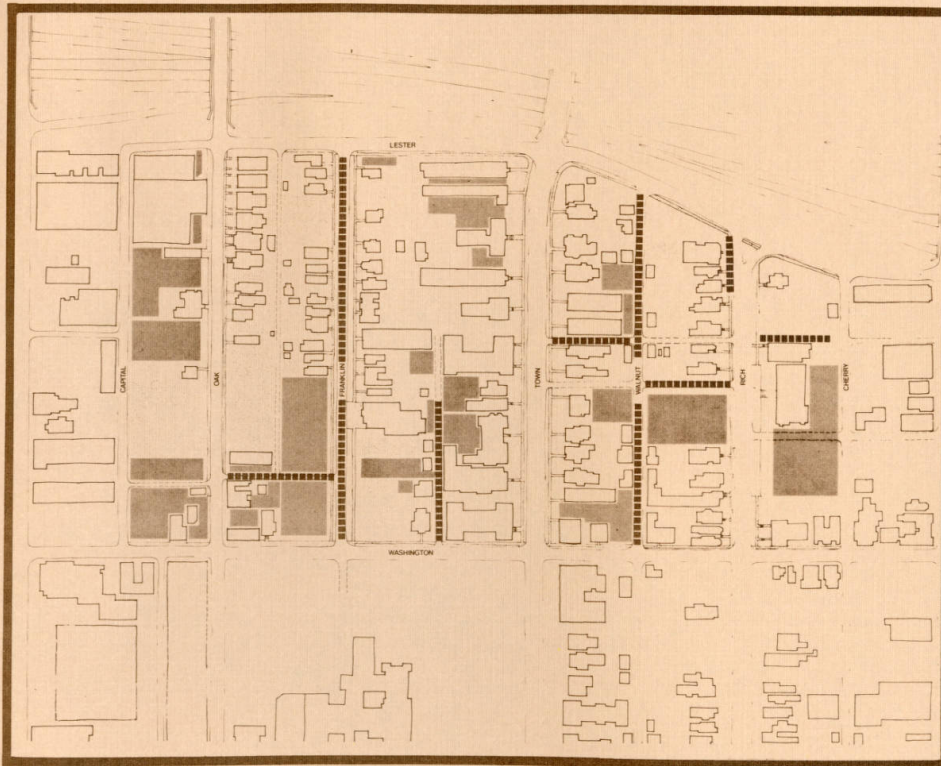
Paving

The paving systems originally used in the Town/Franklin area were laid in brick. As a surface material brick gives texture, adds color and provides a richness of expression to the ground plane. It is also an important element in establishing a human scale to large and small spaces alike.





Fortunately most of the streets in the area have retained their brick paving, but in recent years have been surfaced over with asphalt. With the existing brick still in place there is great potential to restore the neighborhood streets and alleys to their original surface.

With the increasing number of parking lots emerging throughout the Town/Franklin area and the resurfacing of the original brick streets, the neighborhood will soon become a sea of asphalt. It is unfortunate that the approach to date has been totally resurfacing of streets rather than repairing the original surface.

Existing Paving Materials Map



Legend

-  Gravel
-  Brick
-  Concrete
-  Asphalt



Paving

The ground plane is an important element in the design of exterior urban spaces. A major portion of that element is comprised of paved areas in the form of walkways, entranceways, plazas, porches and other building related spaces.

Many urban designs are formulated around the paving element. When pavement is used as a design element the potential user must consider two basic design functions. First, the pavement must relate to the specific use for which it is intended, both functionally and aesthetically. Careful choice of paving materials will aid in the definition and expression of the various functions, which may include separating potentially conflicting uses or activities, the definition of specific use areas and as a possible indication of property ownership. The second major function, pavement as a design tool is to express the principles and characteristics of the overall design. Inherent in this function is the concept of aesthetic value and beauty. The use of pavement in the landscape is limited only by the imagination of the potential user. The material here will cover the advantages and disadvantages, specific uses, relative economic costs; construction hints and specifications and our recommendations for implementations. The different types of paving materials will be presented in order of the best material based on function and aesthetics to the least desirable based on the previous reasons.

1 Brick Pavers

High potential for exciting surfaces delivers a human scale. Key to use is proper use and installation techniques. Best used in slower paths and private spaces.

Specific Uses

- 1 Private Walks
- 2 Patios and Porches
- 3 Around Trees

Material Requirements

- 1 Unit Type/Concrete Base
- 2 Mortar
- 3 Edging Material

Advantages

- 1 Exudes Elegance
- 2 Earthtone Colors
- 3 Creates Human Scale
- 4 Enhances Vegetation
- 5 Available in Various Forms and Sizes
- 6 Slows Traffic

Disadvantages

- 1 Installation Time
- 2 Expensive
- 3 Requires Skilled Labor
- 4 Impedes Quick Movement
- 5 Frost Heave When on Sand

2 Flagstone

Probably most expensive of the typical paving materials. Key to use is proper use and installation and location. Use only in special areas. Use exudes rest, leisure and rhythm.

Specific Uses

- 1 Private Patios
- 2 Special Areas

Material Requirements

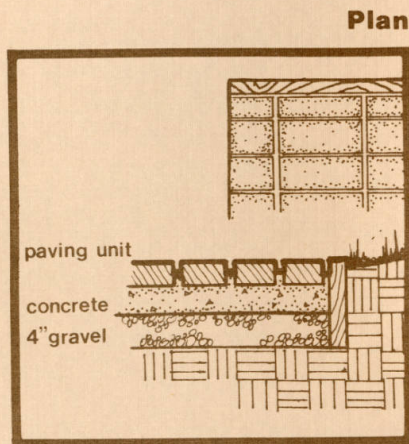
- 1 Stone Units/Concrete Base
- 2 Edging Material, Iron or Pressure Treated White Pine

Advantages

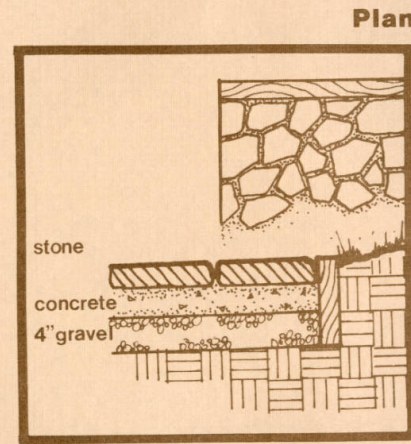
- 1 Various Shapes and Sizes
- 2 Various Degrees of Rigidity
- 3 Ease of Replacement
- 4 Range of Colors, Patterns and Affects
- 5 Provides Human Scale

Disdvantages

- 1 Skilled Labor Required
- 2 Longer Installation Period
- 3 Susceptible to Front Heavage if not on Concrete



Section



Section

3 Exposed Aggregate

A relatively new product. The resin bond forms a hard, porous walking surface. Generally as strong as the aggregate used to make up the pavement. Extremely durable.

Specific Uses

- 1 Around Trees
- 2 Private Walks
- 3 Special Areas as Focal Point

Material Requiements

- 1 Gravel/Epoxy Resin
- 2 Forming Materials

Advantages

- 1 Interesting Surface
- 2 Earthy Color Tones
- 3 Porous, Allows Water Percolation
- 4 Easily Installed
- 5 Extremely Durable

Disadvantages

- 1 Unsightly Preparation
- 2 Expensive

4 Concrete

By comparison, the most inexpensive to use. General, all-purpose paving material. The key to use is proper construction and installation procedures.

Specific Uses

- 1 Busy Paths and Walkways
- 2 General Public Spaces
- 3 Private Walkways

Material Requirements

- 1 Cement, Sand, Stone
- 2 Water
- 3 Forming Material

Advantages

- 1 Readily Available
- 2 Quickly Installed
- 3 Very Durable
- 4 Numerous Finishes
- 5 Adaptable to Curved Forms

Disadvantages

- 1 Reflect Light
- 2 Susceptible to Glare
- 3 Long Cure Time
- 4 Difficulty in Matching Shades

5 Asphalt

Comparatively the same as concrete in large areas. Costs increase in use in smaller areas. Use with canopy trees to cut down on heat absorption.

Specific Uses

- 1 Parking Areas
- 2 Busy Paths over 8' in Width
- 3 Passive Pedestrian Paths

Material Requirements

- 1 Asphalt Cement/Sand, Aggregate
- 2 Stone Base

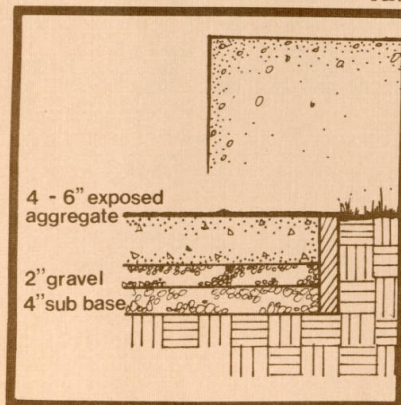
Advantages

- 1 Readily Available
- 2 Black Color Reflects no Light
- 3 Adaptable to Curved Forms
- 4 Blends with Environment
- 5 Variety in Color and Texture

Disadvantages

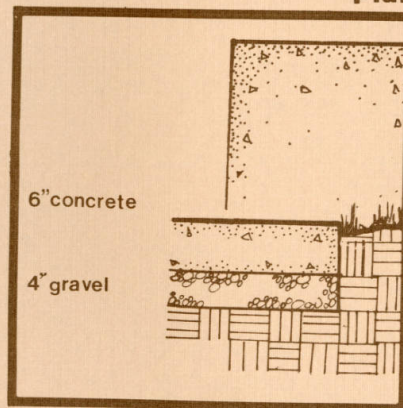
- 1 Heat Absorption
- 2 Machine Installed
- 3 Maintenance Problem, Constant Care
- 4 Unsightly Installation

Plan



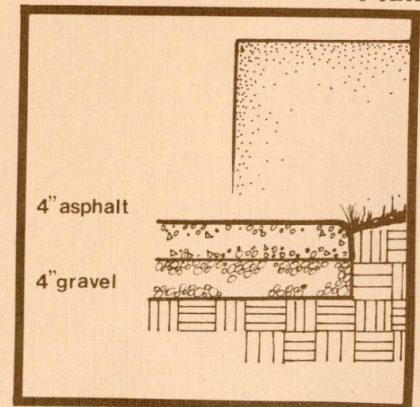
Section

Plan



Section

Plan



Section

6 Gravel, Bark Chips

The least expensive paving available. Also the most temporary. Use only in slowest and most intimate pedestrian spaces. Key to proper use is adequate containment.

Specific Uses

- 1 Temporary Areas
- 2 Private Patio
- 3 Border Areas
- 4 Sculpture Garden

Material Requirements

- 1 Material of Choice
- 2 Edging Material

Advantages

- 1 Easiest to Install
- 2 Noise Buffer
- 3 Allows Water Percolation
- 4 Passive Qualities
- 5 Enhances Vegetation

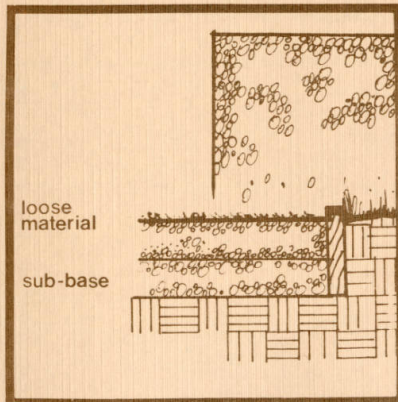
Disadvantages

- 1 Temporary (requires renewal material)
- 2 Impassable by Wheelchairs
- 3 Unstable Walking Surface

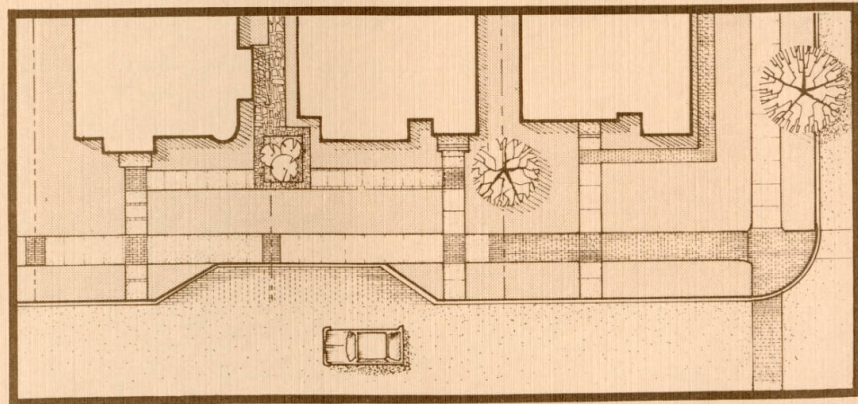
Summary

Pavement adds a great deal to a property's aesthetic and functional quality which in turn adds directly to the economic value of that same property. For this reason it should be treated with great concern and sensitivity when considering it in the landscape. We recommend using a type of pavement that blends naturally into the area for which it is to be placed. For this area (Town/Franklin) stone or brick pavers combined with concrete to form related and organized schemes is the best suited paving materials. This is not an inexpensive process, but when properly constructed it is a very permanent and maintenance free solution contributing also to the property's economic value making it a very worthwhile investment.

Plan

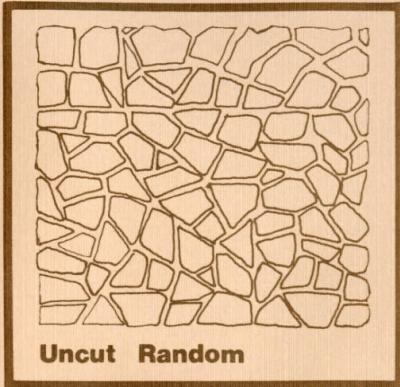


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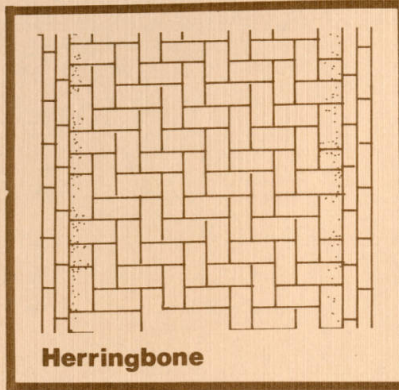


Conceptual Plan

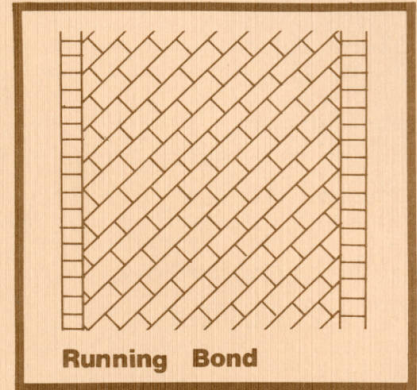
Paving Patterns



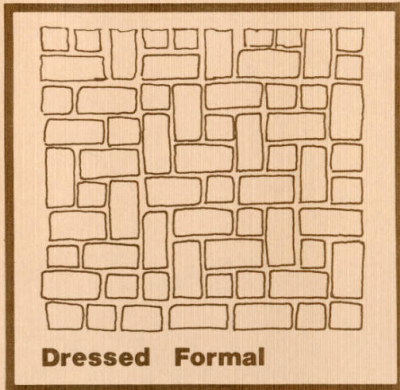
Uncut Random



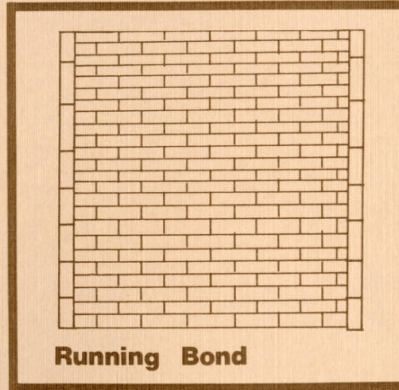
Herringbone



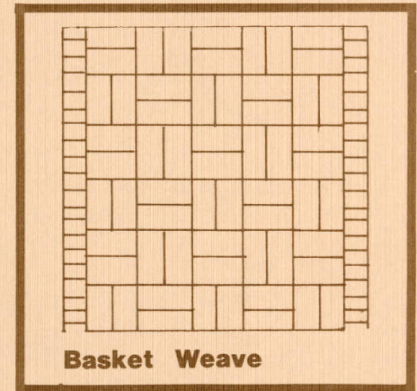
Running Bond



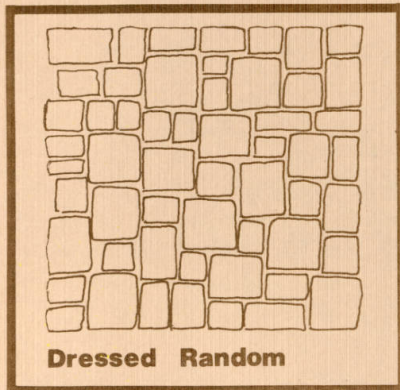
Dressed Formal



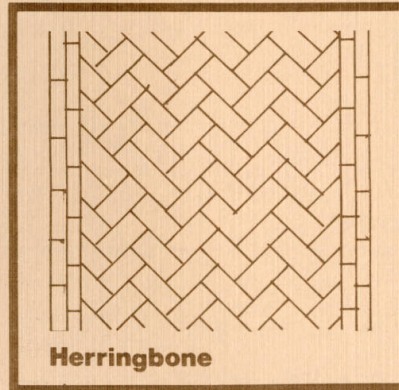
Running Bond



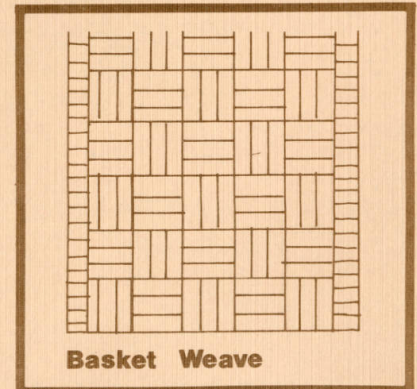
Basket Weave



Dressed Random



Herringbone



Basket Weave

Level Changes

In any landscape, especially in urban areas, a designer must concern himself not only with structures and elements occupying the land surface area, but with the land surface itself. In many cases, the land surface should be adjusted to suit architectural or engineering requirements.

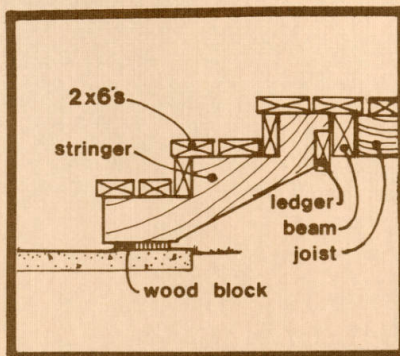
In urban areas, there is generally very little visual relief available on the ground plane. Level changes are any vertical changes in elevation in relationship to any two horizontal planes. Level changes define space, control vehicular and pedestrian circulation, open views, create effects of silhouette, and control drainage of water. Generally, the use of level changes involves pedestrian circulation.

There are five basic forms or types of level changes used in urban landscapes. They are:

- 1 steps
- 2 ramps
- 3 slopes
- 4 mounds
- 5 retaining walls

Regardless of the form of level change chosen to fill a need, the resulting visual form should be pleasing to observers and users. In fact, many level changes are designed for purely aesthetic reasons.

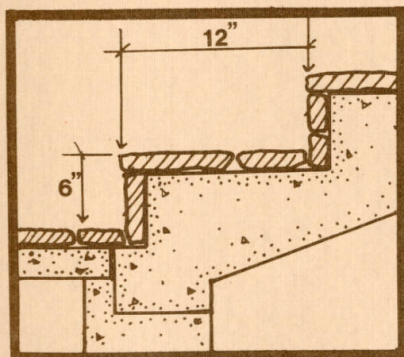
Wood Steps



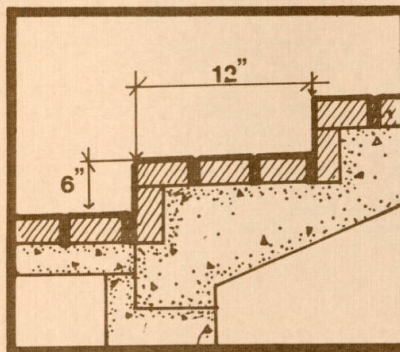
This chapter will discuss the physical characteristics of each level changing form, specific construction, and design criteria and specific usage requirements. It must be mentioned that, due to potential safety problems, most of these elemental forms require technical design knowledge and skilled labor. When pedestrian circulation is necessary, steps are the most functional forms of level change when an elevational change is desired in a shallow space. Stairs should be wide enough to ensure free and safe passage, while maintaining the climbing steps as close to normal walking stride as possible, making climbing easy for all ages.

Recommendations

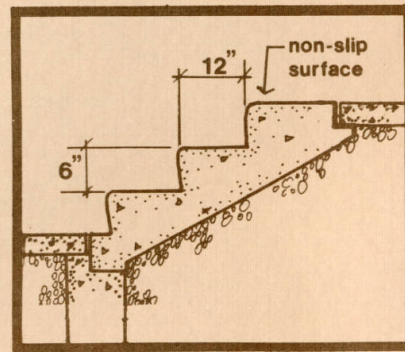
- 1 Where there is a level change, more than one step should exist (preferably three or more).
- 2 Riser height and tread width should be: two times the riser height plus tread equals 25 inches.
- 3 Tread surfaces should be of non-slip material.
- 4 Tread surfaces should be pitched forward at 1/8 inch per foot to provide surface drainage.
- 5 Color of stairs should contrast with color of adjacent paving.
- 6 A minimum of five foot-candles of light should be provided at all stair locations. Light should be cast toward risers so treads will not be in shadow.
- 7 Minimum stair width should be three feet.
- 8 Handrails should be provided on both sides of stairs at 32 inches high.
- 9 Neither height of risers nor width of tread should vary in any single flight of stairs.
- 10 There should be no more than seven risers in a single flight of stairs without a landing.



Stone Steps



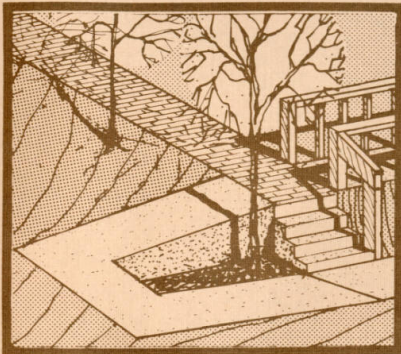
Brick Steps



Precast Concrete Steps

Level Changes

Ramps

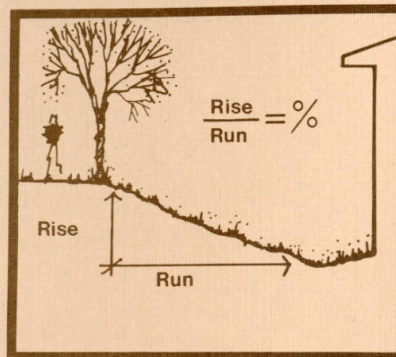


Ramps provide an alternate to stairs and are designed principally for use by handicapped persons. Any walking surface over five percent in grade is considered a ramp.

Recommendations

- 1 A minimum clear width for any ramp should be three feet.
- 2 Ramp widths should vary according to design situations. That is, a one-way ramp should have a minimum width of three feet, while a two-way ramp should have a minimum width of six feet.
- 3 A minimum of 5 footcandles of light should illuminate ramps.
- 4 The maximum gradient for a ramp of extended length should be 8.33 percent. A ramp should not exceed 30 feet without a level landing or rest area.
- 5 Handrails should be provided on both sides of a ramp at a height of 32 inches to 36 inches.
- 6 The top and bottom approaches to ramps should be clear of obstructions and level for a distance of at least five feet.
- 7 Ramps should be located in sunny spaces so that snow and ice will melt quickly.

Slopes



Slopes are horizontal surfaces, one end extending to a higher elevation than the other, over an area.

Slopes

- | | |
|-------|--------------------------------------|
| 1-4% | Flat ground
Intense activity |
| 4-10% | Easy grades
Informal activity |
| 10 +% | Steep gradient
Difficult movement |

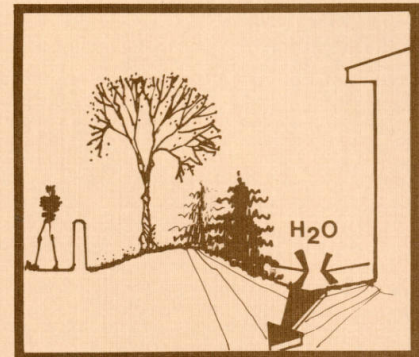
Percentage of slope is found by dividing vertical height (rise) by horizontal distance (run).

$$\frac{\text{RISE}}{\text{RUN}} = \text{Percentage}$$

Recommendations

- 1 Slopes of 25 percent or more should not be used for pedestrian circulation without special accommodations.
- 2 Slopes of 25 percent should have either ground cover or grass covering them.
- 3 Slopes of 100 percent or more should be terraced or used in conjunction with retaining walls.
- 4 Slopes can be used to create a feeling of enclosure around outdoor spaces.
- 5 Slopes can direct lines of sight into specific areas.
- 6 Slopes of eight percent or more should not be used for handicapped people.

Mounds



Mounding, along with vegetation, is the easiest method of obtaining visual relief from a monotonous, flat landscape. They are the cheapest form of level change available to the urban landscape. Mounds are an excellent solution for the disposal of excavated soil and can be used very effectively with other types of level changes.

Advantages

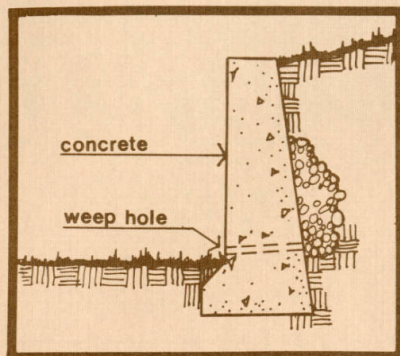
- 1 Earth mounds with vegetation can provide a quick and effective visual barrier.
- 2 Earth mounds can be used as wind and sound deflectors.
- 3 Earth mounds can be used to enclose spaces.

Reommendations

- 1 Earth mounds should be kept in scale with surrounding architectural elements.
- 2 Drainage should be provided away from all building foundations.
- 3 Grass covered mounds should be easy flowing and free of sharp inclines, which make mounds difficult to mow without shearing off the grass surface.

Level Changes

Retaining Walls

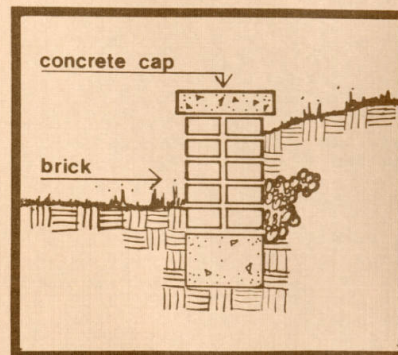


Concrete Wall

Retaining walls are a means to take up abrupt differences in elevations. In addition to the peculiar function of retaining walls--retaining earth--walls can be designed to serve as seating, surfaces on which to rest packages, leaning and guidance for physically impaired people. Walls are expensive and require structural reinforcement when used for earth retainment over three feet high. Gravel backfill and "weep holes" at the base of the wall are needed to relieve the pressures and weight of rain water infiltration behind a wall. Retaining walls should be used where changes in elevations cannot be accommodated with slopes. The four basic types of walls are brick, stone, concrete or wood. Wood is not as permanent as the others, but it is cheaper and has more material flexibility.

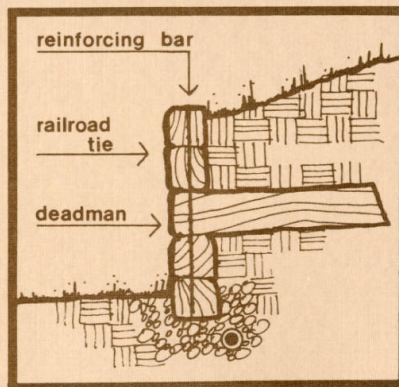
Advantages

- 1 Retaining walls are useful for pedestrian traffic control.
- 2 Retaining walls can be used for seating, if 18 inches to 22 inches in height and have a smooth solid surface.
- 3 Walls between three and four feet high are particularly desirable for leaning or resting packages upon.

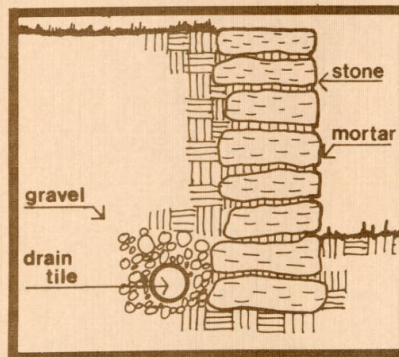


Brick Wall

Railroad Tie Wall



Stone Wall



Summary

There is great potential for use of level changes in the Town/Franklin Area. Retaining walls, stairs, and ramps are very architectural in nature and, therefore, blend well into the urban environment. The use of these elements and the materials constructing them should be coordinated with existing architecture. By so doing, the architecture can be extended into the surrounding landscape. Level changes in the form of slopes and mounds are very conducive to creating a softer, more natural atmosphere. Therefore, use of level changes in the urban landscape should be limited, except to special areas such as urban parks and parking lot screening or tot-lot spaces.

Vegetation

Introduction

Plants, because of their differing textures, colors, and dynamic quality of constant change, can be used to soften man-made environments, enhance architectural elements, cool and shade architectural elements and spaces, and serve as purely aesthetic elements.

Plant material can be one of the most effective, easy and inexpensive ways to increase the value of a piece of property. The cost of a well-designed and implemented landscape is about ten to twenty percent of the total cost of the property.

The matured value will increase significantly over time. A tree worth \$5 today will be worth approximately \$200 in ten years, an increase equivalent to more than 50% interest per year. Also, with proper location of plants, a substantial savings can be realized on heating and cooling costs. Installing vegetation is less expensive than most other home improvements, and the work can be done all at once or in stages. Also, much of the labor can be accomplished by property owners.

Plant materials are functional as climate control mechanisms and architectural enclosures. Trees, shrubs, and ground cover are widely used to control solar radiation and wind velocity. Plants with dense foliage can completely block light and wind, while plants with open, loose foliage filter light and moderate wind velocity. Seasonal changes in deciduous plants provide shade in summer months and allow warm sun to penetrate areas during winter months. Vegetation also absorbs heat during the day and releases it at night, thus moderating the overall temperature.

Plant material can be used in conjunction with landforms and architectural elements to alter wind direction and intensity.

Vegetation used as windscreens can reduce winter heating bills. It takes twice as much fuel to heat a house at 32° with a wind velocity of 12 MPH than with a wind velocity of 3 MPH. Since winter winds in Columbus are generally from the northwest, an evergreen wind screen placed on the northeast side of a structure can, by blocking cold winter winds, reduce winter heating bills as much as 30%. A row of dense evergreen shrubs placed near a wall will create a dead air space between the plants and the wall. The result is an area where the temperature remains fairly constant creating an area of insulation which reduces heat loss.

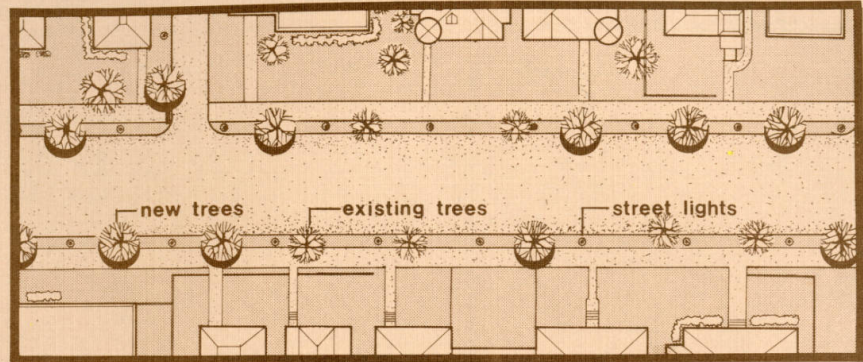


Vegetation

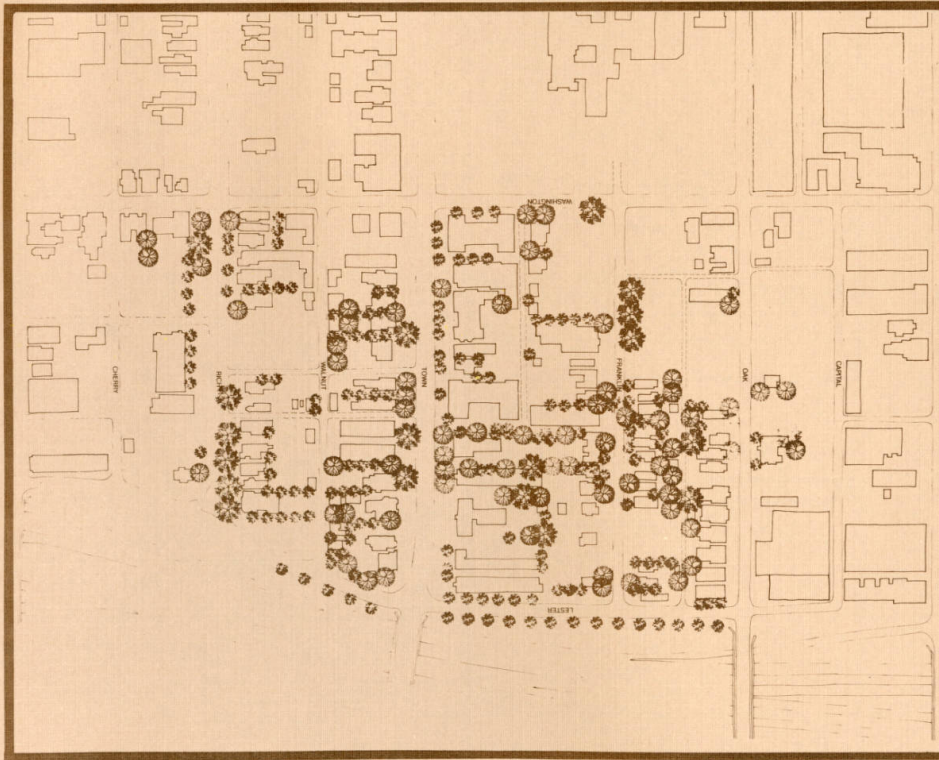
The Town/Franklin community has the distinction of being the last residential area within downtown Columbus that is well endowed with major vegetation. Fully mature trees line the majority of neighborhood streets, creating shaded thoroughfares that reflects the feeling of yesteryear.

Even though there is an abundance of growth, additional trees and other vegetation are needed to fill in the empty spaces. This would re-establish the rhythm and continuity of the neighborhood, not to mention giving additional charm to the area.




Potential Planting & Lighting Plan



Existing Major Vegetation Patterns



Legend

-  Large
-  Medium
-  Small

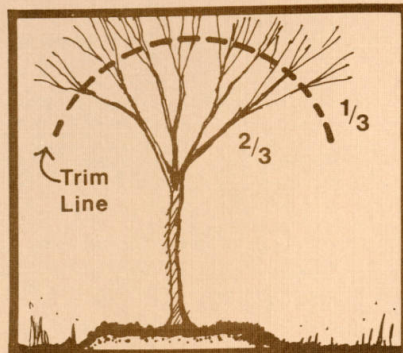
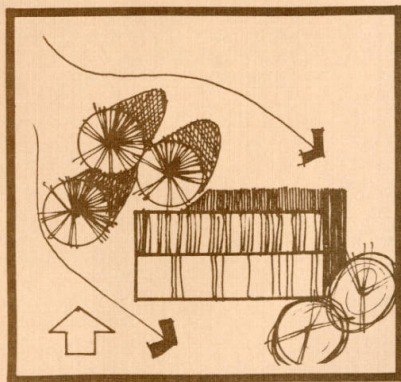


Vegetation

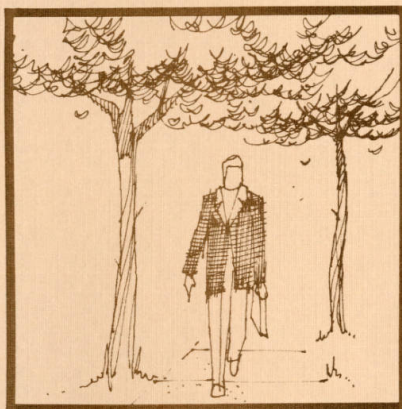
A minimum canopy of ten feet should be used over paths or areas where service vehicles will travel. Dense vegetation such as trees and shrubs have a tendency to reduce noise more so than hard surfaces which tend to reflect sound increasing its noise level. Circulation systems can be defined or reinforced by the use of various plant materials. In lightly traveled areas with direct paths, ground cover can be used to control movement by visually directing people down the paths. Large or small shrubs can be used effectively as deterrents to corner cutting across lawns.

Plant materials can be used to create visual barriers. The reduction of glare or lights from cars or other sources can be realized by screening parking lots and roads with plants. A screen around a parking lot can be high enough to block headlights but low enough to be seen over for safety (i.e., approximately 4' or lower).

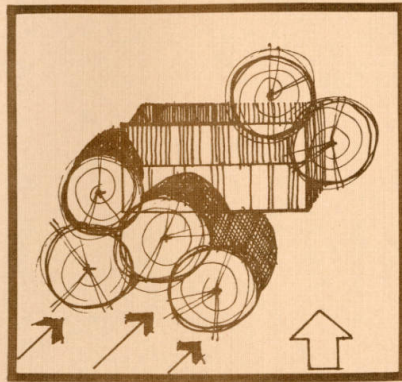
Winter Wind Control



Tree Canopy



Summer Sun Control



Planting Guidelines

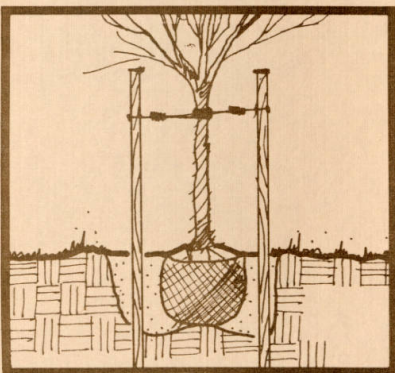
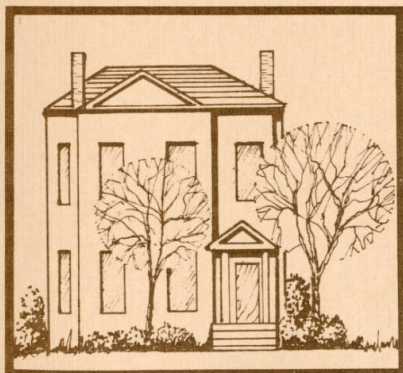
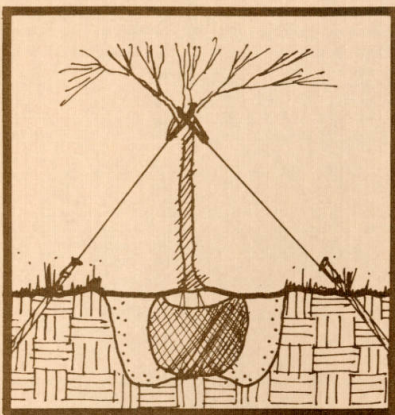
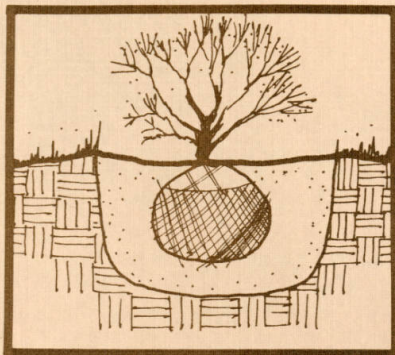
When planting a tree, a minimum area of 64 square feet of open soil or opening in the pavement is needed to ensure adequate moisture to the roots. If the area around a tree is to be paved, a porous material such as gravel or brick in sand is recommended, or an iron tree grate, to ensure proper air and moisture content to the roots. For protection from machinery, vandals, and wind, a young tree should be staked until the root system develops, usually through the first growing season, or about one year. A young tree will branch better and root better if it is supported only enough to hold the trunk upright. Excessive staking can be harmful to the tree's development if it in any way obscures the plant's growth. Self-supported trees such as those that grow in the natural environment develop a larger caliper and root system quickly.

After planting, up to one-third of the branches should be pruned to compensate for the root loss and to reduce weight and wind resistance in the top of the young tree. After planting, the tree trunk should be wrapped in burlap or tree wrapping tape from the bottom up to reduce moisture loss and sunscald. This should be reinforced with twine, wrapped in the opposite direction. Watering of equivalence to about 1 inch per week is also very important during the first growing season. For specific time to plant and fertilize, a nurseryman should be consulted. Fertilizer is very important for hardy, vigorous growth of a new tree. Some general planting and maintenance guidelines follow:

Vegetation

Planting Recommendations

- 1 The hole should be \pm twice the size of the diameter of the root ball.
- 2 If ball is in burlap the top one-third should be removed. If plastic burlap is used it should be slit from top to bottom several times around root ball.
- 3 Top of ball should extend 2-3 inches above ground level to ensure tree roots are not over saturated with water which will contribute to root rot and death of tree.
- 4 Soil mix should be approximately one-third peat moss and two-thirds soil.
- 5 When cabeling, rubber hose should be used around wire to protect tree from damage.
- 6 Three to four inches of mulch should be applied after planting to retain moisture and maintain even temperature.
- 7 Fertilizer should be applied once a year to promote growth.



Plant Adaptability

The adaptability of specific plants in the landscape for any position depends on drainage, sunlight, wind, soil moisture, and organic materials. The inner city is a difficult environment for the care and nurture of plant life because of watering problems, chemical poisoning, and intense heat reflected from pavements and buildings. Therefore, existing plants should be analyzed to determine their heartiness and resistance to harsh elements in the urban environment. An experienced nurseryman may be needed in choosing appropriate vegetation.

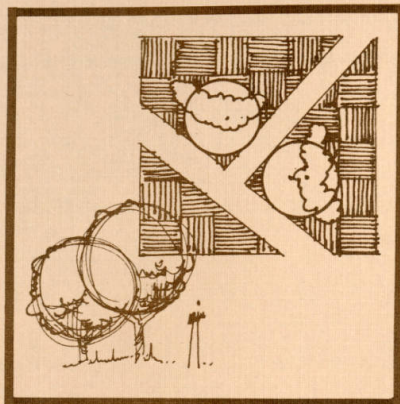
Summary

The overall character of a landscape is perceived through groups of plants rather than individual specimens. Therefore, a consistent planting system is important. In urban areas, use of vegetation is important to preserve the residential character of a neighborhood.

When choosing vegetation, it is important to consider size and character of mature plants. The use of standard street trees, for example, will define specific districts.

All Ornamental Trees

- 1 *Pyrus calleryana*--Bradford Callery Pear
- 2 *Oxydendron arboreum*--Sourwood
- 3 *Crataegus punctata* 'Ohio Pioneer'--Dotted Hawthorne
- 4 *Cornus kousa chinensis*--Chinese Dogwood
- 5 *Cornus mas*--Cornelian-Cherry Dogwood
- 6 *Circus canadensis*--Eastern Redbud
- 7 *Amelanchier laevis*--Allegheny Serviceberry
- 8 *Abies procera* 'glouca--Blue Noble Fir
- 9 *Acer buergerianum*--Trident Maple
- 10 *Acer palmatum* 'Bloodgood'--Japanese Maple

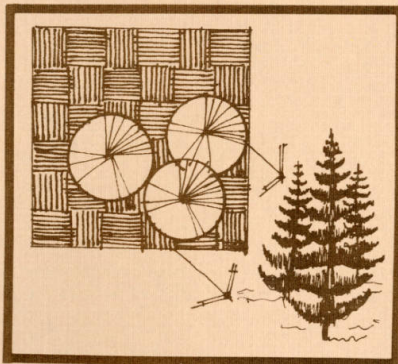


Ornamental Trees

- 1 Used for ornamental characteristics
- 2 Create low shadow patterns
- 3 Used as specimen or focal plant
- 4 May have fragrant quality
- 5 Used in small spaces

Evergreen Trees

- 1 *Abies concolor*--White Fir
- 2 *Abies nordmanniana*--Nordman Fir
- 3 *Abies veitchi*--Veitchi Fir
- 4 *Pseudotsuga menziesii*--Douglas Fir
- 5 *THUVA occidentalis* 'Techny'--Techny Arborvitae
- 6 *Pinus resinosa*--Red Pine
- 7 *Pinus thunbergi*--Japanese Black Pine
- 8 *Pinus bungiana*--Lacebark Pine
- 9 *Chamaecyparis pisifera obtusa*--Hinoki Falsecypress
- 10 *Picea omorika*--Serbian Spruce

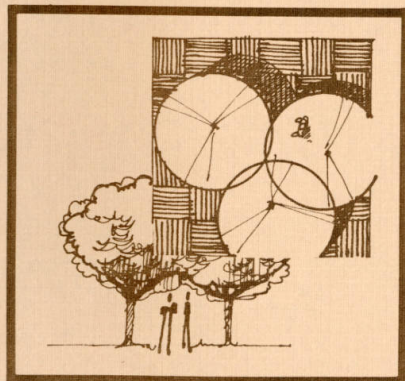


Evergreen Trees

- 1 Year-long sun and wind barrier
- 2 Strongest visual barrier
- 3 Sixty percent screen is the most effective wind screen. A more dense screen (eighty to ninety percent) will create turbulence and increase velocity.

Deciduous Shade Trees

- 1 *Acer platanoides* 'Superform'--Norway Maple
- 2 *Quercus coccinea*--Scarlet Oak
- 3 *Quercus shumardi*--Shumard Oak
- 4 *Quercus palustris*--Pin Oak
- 5 *Diospyros virginiana*--Common Persimmon
- 6 *Gleditsia triacanthos* 'enermis'--Thornless Honeylocust
- 7 *Gymnocladus dioica*--Kentucky Coffeetree
- 8 *Nyssa sylvatica*--Black Tupelo
- 9 *Platanus hybrida*--Sycomore
- 10 *Tilia cordata* 'June Bride'--Littleleaf Linden



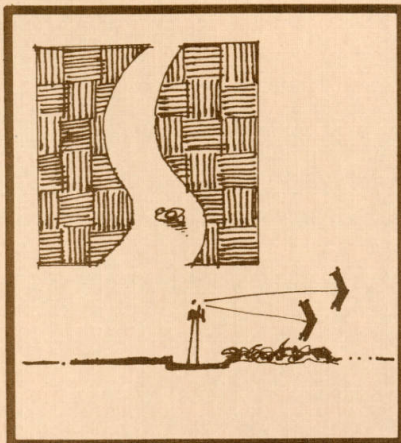
Deciduous Shade Trees

- 1 Used to create large spaces
- 2 Create summer shade and allow warm winter sun
- 3 Scale down or enhance large architectural elements
- 4 Enframe entrances or architectural elements.

Vegetation

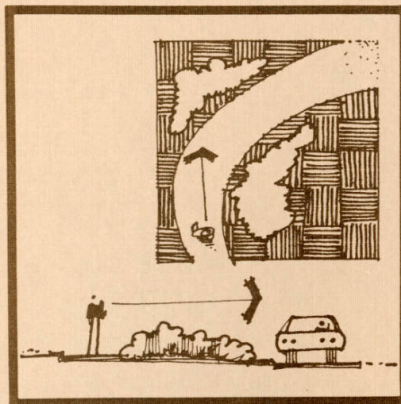
Ground Cover

- 1 Defines space without limiting view
- 2 Creates a psychological barrier without a physical barrier
- 3 Serves as background or foreground for other elements
- 4 Helps to stabilize soil on slopes



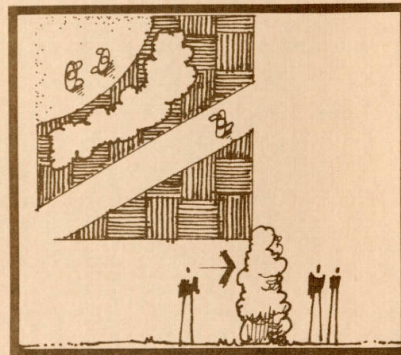
Small Shrubs

- 1 Physical barrier
- 2 Define space but not as visual barriers
- 3 Barriers between public and semi-public areas (e.g., street and front yard)
- 4 Directional elements for pedestrian circulation
- 5 Foundation planting



Large Shrubs

- 1 Strong physical and psychological barriers
- 2 Sun and wind barriers
- 3 Barriers between public and private spaces (e.g., street and private patio)



Ground Cover Less Than 1'

- 1 *Jumperus horizontalis*-- 'Wiltoni' Blue Rug Juniper
- 2 *Parthenocissus tricuspidata*-- Boston Ivy
- 3 *Pachysandra terminalis*-- Japanese Pachysandra
- 4 *Parthenocissus quinquefolia*-- Virginia Creeper
- 5 *Hedra Helix*--English Ivy
- 6 *Vinca minor*--Common Periwinkle
- 7 *Cotoneaster horizontalis*-- Rock Cotoneaster
- 8 *Euonymus fortunei 'Coloratus'*--Purple Wintercreeper Euonymus
- 9 *Euonymus fortunei 'Kewensis'*--Kew Wintercreeper Euonymus
- 10 *Cotoneaster dammeri 'Coral Beauty'*--Coral Beauty Bearberry Cotoneaster

Small Shrubs Less Than 4'

- 1 *Ribes alpinum*--Alpine Current
- 2 *Pieris japonica*
- 3 *Fothergilla gardenii*--Dwarf Fothergilla
- 4 *Abellia grandiflora*--Glossy Abelia
- 5 *Kerria japonica (JAPONICA)*--Japanese Kerria
- 6 *Hydrangea quercifolia*--Oak-leaf Hydrangea
- 7 *Rhododendron molle*--Chinese Azalea
- 8 *Juniperus chinensis 'San Jose'*--San Jose Chinese Juniper
- 9 *Symphoricarpos orbiculata*--Indiancurrent Coralberry
- 10 *Paeonia Suffruticosa*--Tree Peony

Large Shrubs-5' And Above

- 1 *Euonymus alatus (COMPACTA)* Winged Euonymus
- 2 *Chaenomeles speciosa*--Common Flowering Quince
- 3 *Myrica pennsylvanica*--Northern Bayberry
- 4 *Weigela hybrida*--Weigela
- 5 *Aronia arbutifolia*--Red Chokeberry
- 6 *Vaccinium corymbosum*--High-bush Blueberry
- 7 *Lindera benzoin*--Spicebush
- 8 *Enkianthus cumpanulatus*--Redvein Enkianthus
- 9 *Cotinus coggyria*--Velvet Cloak Smoke Tree
- 10 *Lonicera maackii*--Amur Honeysuckle

Vegetation Matrix

		DECIDUOUS	EVERGREEN	Flower				Fruit				Fall Color				Light		Soil					Texture			
				RED	YELLOW	PINK	WHITE	PURPLE	RED	BLUE	BLACK	PURPLE	RED	ORANGE	YELLOW	PURPLE	SUN	SHADE	ALKALINE	ACID	WET	DRY	SALT	FINE	COURSE	NATURAL
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Vegetation Matrix

	DECIDUOUS EVERGREEN	Flower	RED	YELLOW	PINK	WHITE	PURPLE	Fruit	RED	BLUE	BLACK	PURPLE	Fall Color	RED	ORANGE	YELLOW	PURPLE	Light	SUN	SHADE	Soil	ALKALINE	ACID	WET	DRY	SALT	Texture	FINE	COURSE	NATURAL			
Small Shrub																																	
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Vegetation

Pruning

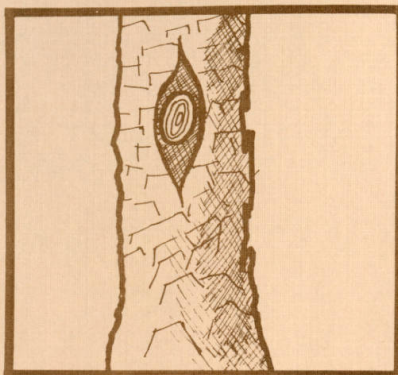
Pruning is the removal of a plant part or parts to improve the health, appearance, or usefulness of the plant. It should only be used to prevent, correct or improve an undesirable situation, since failure to use recommended techniques often leads to a worse problem.

The reasons for pruning are: (1) to control undesirable habits of growth; (2) to remove dead, broken or disease and insect infested branches; (3) to produce a more compact and sturdy plant; (4) to produce a desired formal shape or size; (5) to improve flowering or fruiting; (6) to retain maximum color on colored twig plants.

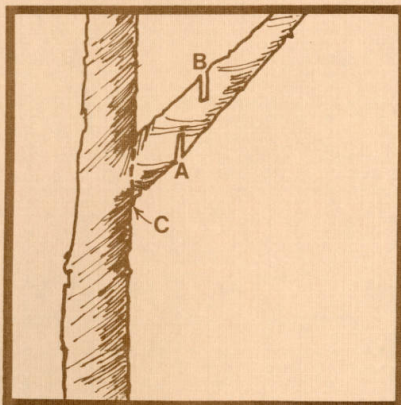
In general, pruning can be done any particular time of the year. However, consideration must be given to factors of food supply, flowering period, and winter hardiness. Pruning can be very harmful if new growth is cut off in the spring or growing season when deciduous plants manufacture food in the green leaves. This food is stored in various forms in roots and stems over winter and is used as the reserve energy supply for new growth. If this growth is removed before new food can be produced, dwarfing is caused and sometimes death of the plant. Usually the best time to prune is when the plant is in its dormant season, before the beginning of new growth. Wounds from pruning heal most rapidly when cuts are made flush with the adjoining branch or trunk. Even small stubs will prevent healing by dying back and letting disease and rot organisms gain entry to healthy tissue. Cuts on small branches should be made just above a bud and at an angle.

Large wounds should be shaped by carving to a point at the top and bottom to enhance proper healing. All wounds larger than one inch in diameter should be painted with a standard tree paint.

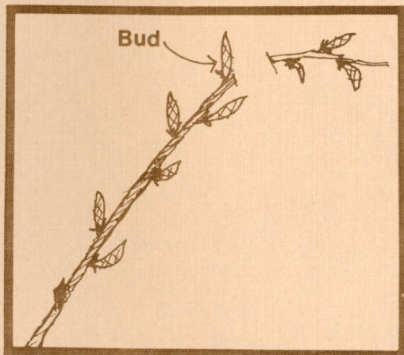
Correctly Shaped Wound



Pruning Large Branches



Pruning Small Limbs



Pruning Existing Plants

Shade Trees

- 1 Remove branches in path of foot or vehicular traffic.
- 2 Thin out top to open internal branches to light.
- 3 Do not cut central trunk unless absolutely necessary.
- 4 When cutting large branches follow steps below to prevent tearing of bark. Cut A, then B and finish cut at C.

Flowering Trees

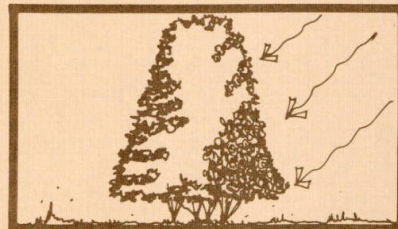
Same as shade trees except it should be pruned after flowering to ensure more flowering the following years and a heavy cutback should be avoided which could reduce flowering for a season.

Shrubs

Aside from trimming for size, shrubs should be thinned out by cutting older branches back to ground. They should be pruned often to reduce necessity of heavy cutback. On shrubs with colored stems, one third of the older wood should be removed every year to retain maximum coloration. Old flowers should be removed to maintain optimum flowering for next season.

Hedges

Prune hedges prior to new growth in spring and again in summer to remove feathery new growth. The base of the hedge should be wider than the top to allow light to reach the lower branches and prevent legginess.



Lighting

Lighting is one of the most effective elements that can be used to encourage the use of certain areas after dark. Night lighting identifies and structures darkened landscapes by illuminating familiar features of paths normally followed in the daytime.

At night, light conveys a sense of activity and warmth, as well as a sense of protection and security. Intruders will rarely attempt to outwit a protective lighting system, and the passive quality of some lighting could act to subdue an aggressive disposition in some individuals in some instances. It is a proven fact that light deters burglary and violent crime.

During the daylight hours, lighting fixtures serve as elements of physical form, integral to architectural concepts which are developed in direct relationship to the urban environment.

The information presented in this chapter will include the following:

- 1 Available types of artificial outdoor lights, their advantages and disadvantages
- 2 Comments on general lighting visibility
- 3 Recommendations for specific locations and uses

Lighting Uses

Light can provide a neighborhood community identity. Other uses for lighting include the following:

- 1 Provides illumination for formal activity areas
- 2 Sets up a visual hierarchy which reinforces scale in surrounding elements
- 3 Separates conflicting areas
- 4 Creates atmosphere
- 5 Shows direction
- 6 Defines form

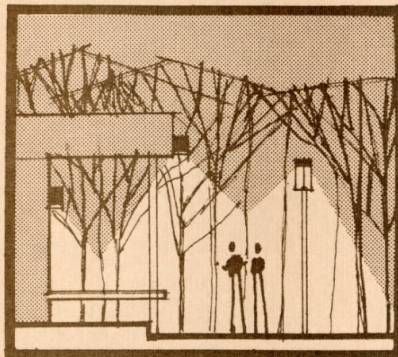
Light Source Selection

Lighting should be selected by its compatibility with the environment. When selecting a light source for any use, the following factors should be considered:

- 1 Ease of shielding
- 2 Directional control
- 3 Maintenance requirements
- 4 Systems economics
- 5 Vandalism
- 6 Location and type of fixtures
- 7 Intensity and color of light

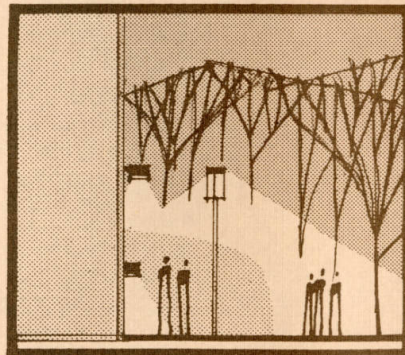
Porches & Patios

- 1 Light levels should average five to ten footcandles at the ground plane.
- 2 Use direct light sources mounted on walls, columns, or ceilings.
- 3 Use warm light sources (incandescent).
- 4 Highly ornamental fixtures are desirable in historical areas.
- 5 Place light near steps, signs, house numbers, points of entry, etc.
- 6 Use residential fixtures only.
- 7 Fixture color should be dark brown (anodized aluminum).



Building Entrances

- 1 Direct lighting should be used.
- 2 Warm light sources (incandescent) should be used.
- 3 Fixture source light should average .5 footcandles.
- 4 Fixtures should be mounted at 5½ feet on either side of entrances or 8 feet over doors.
- 5 All fixtures should be dark brown.



Lighting

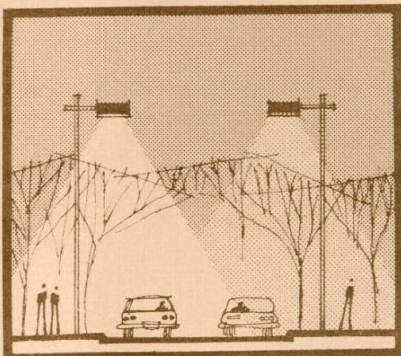
Lighting Scheme Criteria

Three criteria are generally used to design lighting schemes. They are:

- 1 Efficiency--maximum light versus cost of energy.
- 2 Color rendering--ability of light to make objects appear in their most desirable colors.
- 3 Surrounding conditions

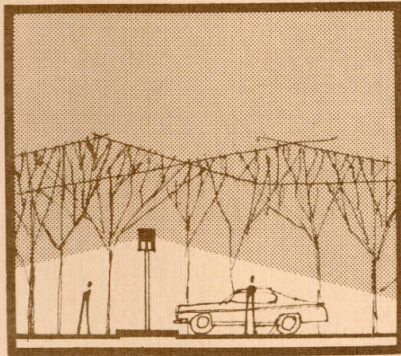
Street Lighting

- 1 Light should be uniform on the ground plane.
- 2 Luminosity should average one footcandle.
- 3 Intersections should be lighted to five footcandles. Standard height for fixtures should be approximately 14 feet and from 50 to 65 feet apart.
- 4 Intersection lighting fixtures should be increased in height or number.
- 5 "Cool" light sources should be used.
- 6 The Crouse-Hinds/LRL would fit in very well in the Town/Franklin Neighborhood.



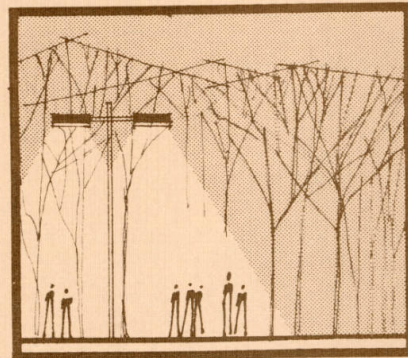
Parking Lots

- 1 Use high intensity discharge lights.
- 2 Light should be uniform in height, color, shape, spacing, size, with street lighting Crouse-Hind (LRL) Luminaire.
- 3 Luminosity should average one footcandle at the ground plane.
- 4 Fixtures should be placed to discourage crime.



Activity Areas

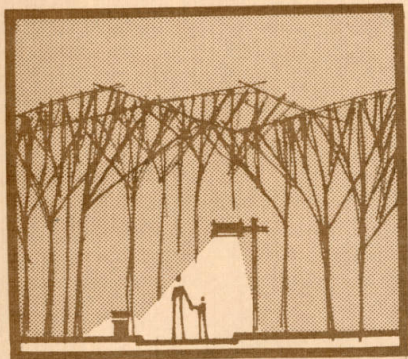
- 1 Multi-visible light sources should be used.
- 2 "Warm" light sources should be used.
- 3 Activity areas should be more highly illuminated than surrounding areas (usually more than five footcandles).
- 4 Trees should be uplighted in areas where special emphasis is desired.



Lighting

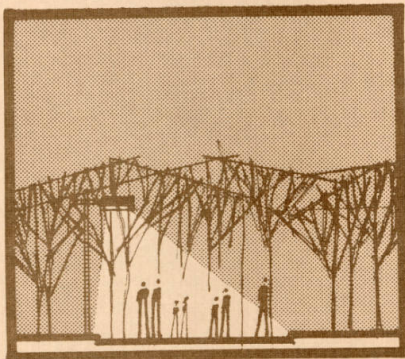
Minor Walkways

- 1 Light levels should average .5 footcandles at the ground plane.
- 2 Source and form should be functional but decorative.
- 3 Incandescent lamps in the 25-150-watt range should be used.
- 4 Bollard lighting is desirable.
- 5 Fixture color should be dark brown (anodized aluminum).
- 6 Trees should be uplighted in areas where special emphasis is needed or desired.



Major Walkways

- 1 Light levels should average .5 footcandles at the ground plane.
- 2 A "warm" light source (redish) should be used.
- 3 Pole lights should be 17 feet high along private walks and 14 feet high along public walks.
- 4 Direct light sources should be used.
- 5 Lights on any specific site should be coordinated according to shape, color, size, materials, etc.
- 6 Fixtures should be chosen that correspond with existing or potential neighborhood trends.



Summary

Sources and types of light for use in specific situations will vary according to personal preferences of designers, requirements of the particular project, owners, and budgets. The following general comments will aid in coordinating an overall lighting plan:

- 1 Light should be concentrated where visual acuity is required.
- 2 Pedestrian spaces and paths should be illuminated with lights from the "warm" (redish) end of the color spectrum for truer human color rendition.
- 3 Vehicular areas should be highly illuminated with lights from the "cool" (bluish, greenish) end of the color spectrum.
- 4 Buildings should be illuminated from the inside at night, according to their uses at that time.
- 5 Landmarks should be lighted.
- 6 Minimum floodlighting should be used on exterior walls, due to today's energy problems.
- 7 Location and height of lamps should correlate with adjacent buildings and vegetation scales.
- 8 Source fixture brightness should be controlled when and where necessary.
- 9 Light sources should be aimed away from pedestrians and observers.
- 10 Fixture mounting hardware should be corrosion resistant.
- 11 Water drainage should be provided away from light poles and fixtures.
- 12 Light sources should be consolidated wherever possible.
- 13 Pole light spacing should not exceed four times the mounting height.
- 14 Tall posts should be avoided in urban residential districts. A 14-foot height is preferred instead.

Lighting

Incandescent

Type	Lumens per watt	Wattage Range
Low voltage	5-10	25-240
Reflectorized	8-10	75-500
Tungsten	14-18	500-1500
Halogen	16-20	250-1000
General Service	10-20	11-1500

These types of artificial light sources are very compact, frequently approaching a point source. Incandescent lamps produce light by electrically heating high resistance tungsten filaments to intense brightness. They are easy to install and service and are an excellent source of "warm" light (red end of the spectrum).

Advantages

- 1 Light level can be controlled easily.
- 2 Full light output immediately
- 3 Relatively full color spectrum
- 4 Low initial equipment costs
- 5 Lightweight

Disadvantages

- 1 Short life
- 2 High lighting costs
- 3 High radiant heat level
- 4 Relatively fragile
- 5 Used mainly for illuminating small spaces.

Fluorescent

Type	Lumens per watt	Wattage Range
Rapid start	40-73	35-110
High output	43-60	110-214
Standard output	65-74	30-40

These types of light sources are inherently lineal in form. Fluorescent lamps produce light by establishing an arc between two electrodes in an atmosphere of very low pressure mercury vapor in a chamber. This, in turn, excites a phosphorous lining in the tube wall, converting the resulting energy into visible light.

Advantages

- 1 Long life
- 2 Color rendering capabilities are excellent to fair.
- 3 Available in a wide range of color tints

Disadvantages

- 1 Dependent on ballasts for operation
- 2 Light output is affected by cold temperatures (less than 55 degrees).

High Intensity Discharge

Type	Lumens per watt	Wattage Range
High pressure sodium vapor	90-100	70-1000
Metal halide	60-80	175-1500
Mercury vapor	40-70	40-1000

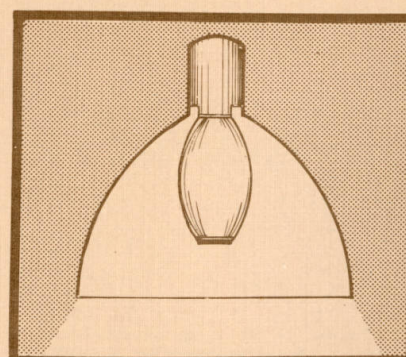
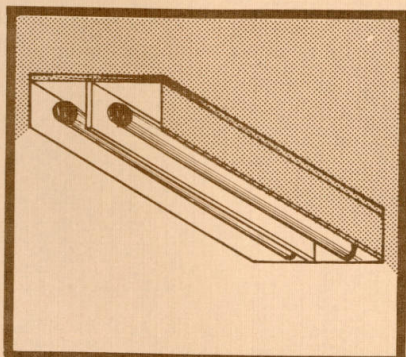
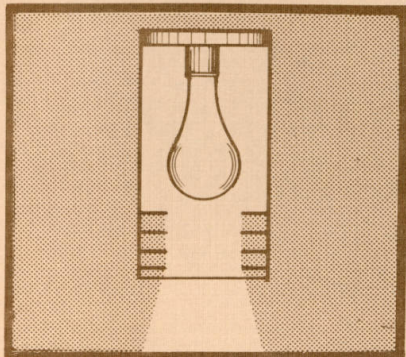
These artificial light sources are very compact, usually containing a small arc tube within a larger outer glass bulb. An arc is established between two electrodes in opposite ends of a small sealed tube to produce light. In general, metal halide and mercury vapor lamps produce white light of a "cool" nature (bluish, greenish) while high pressure sodium vapor lamps are "warm" in nature (redish).

Advantages

- 1 Color rendering capabilities range from monochromatic to a relatively full color spectrum.
- 2 Long life (20,000 hours)
- 3 Low cost

Disadvantages

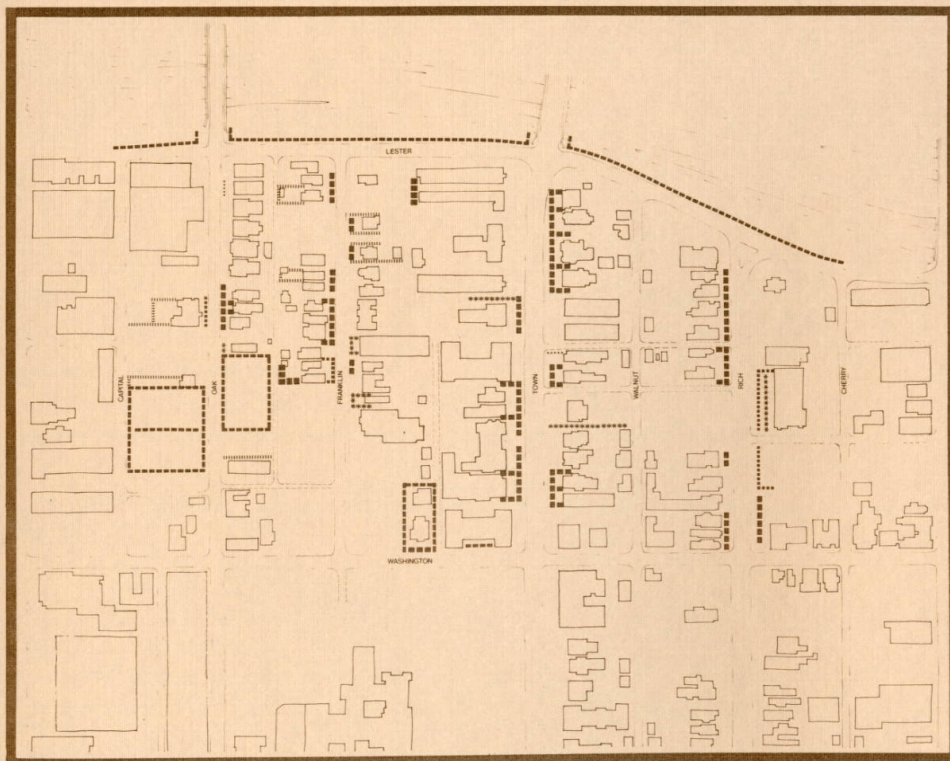
- 1 Dependent on ballasts for operation
- 2 Need restart time in the event of power failure
- 3 Heavier and bulkier than incandescent types
- 4 Produces more heat and higher pressures internally than other types










Fencing

This map graphically represents the general types and amounts of fencing existing in the Town/Franklin Area. Utilization of this map will enable homeowners to establish fencing patterns that will visually relate to existing fencing patterns.

Existing Fencing Map



Legend

-  Iron
-  Stone
-  Chain Link
-  Brick
-  Wire
-  Hedge Rows
-  Wood



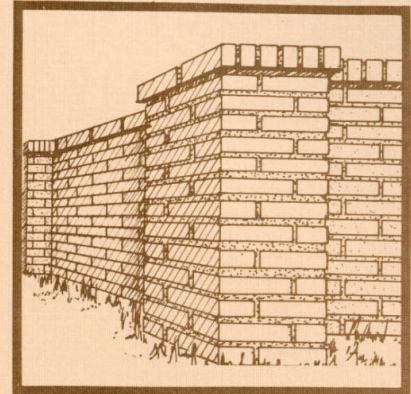
Fencing

Traditionally, fences were used to separate property by creating physical and visual barriers. While still an important function, today's fencing must also visually enhance the outdoor environment. Some common functions of fencing follow.

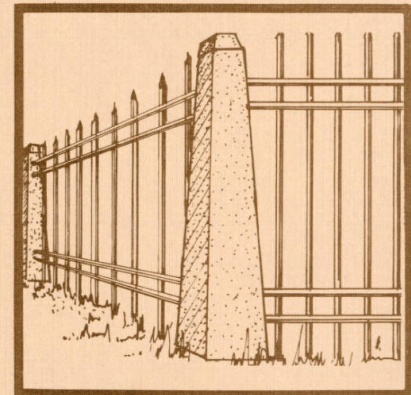
- 1 Protection. Fencing is a physical and psychological deterrent to trespassers, as well as enclosures for children and pets.
- 2 Entrance definition. Fencing should define the entrance to a private home rather than funnel traffic into the entrance. Therefore, fencing should terminate at either side of an entrance. When fencing is intended to direct traffic into a building, a funnel pattern of fencing should be established which narrows at the entrance for visual emphasis.
- 3 Outdoor space definition. Outdoor space definition can be accomplished through the use of both solid or transparent fencing materials. Fences or walls can be used to divide space in the landscape just as walls are used to divide rooms in a building. Fencing need not traverse an entire area to define space but can stop and start at intervals to correspond with a designer's wishes. The human eye perceives this type of fencing as continuous, although void spaces occur at intervals. In most cases, it is more desirable for the eye to perceive a horizontal line rather than a solid wall or divider.

Recommendations

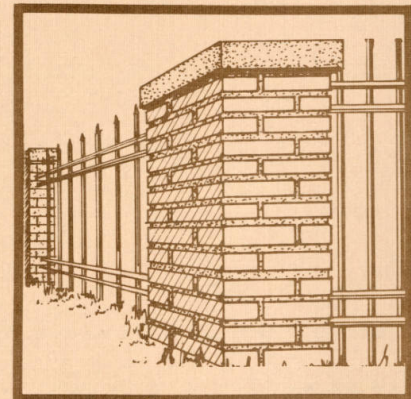
- 1 If no fencing exists on adjoining properties to match style or height, proposed fencing should be 34 to 40 inches high.
- 2 Based on the Town/Franklin Neighborhood Survey, materials for fencing systems should be masonry, wood, ornamental iron or hedgerows. Wood fences should only be used in rear yards.
- 3 Brick walls should be 34 to 40 inches high with 16 inch square extended brick piers at property lines and corners.
- 4 Brick walls should have four inch brick or stone caps forming a 3/4 inch overhang.
- 5 Ornamental iron fences should have concrete or stone piers of compatible heights at all property lines, corners, and entrance walks.
- 6 Concrete or stone piers should be placed eight inches from entrance walks on both sides when using iron fencing.
- 7 Brick walls constructed with concrete block should be faced with brick on both sides.
- 8 Concrete piers or brick walls should maintain at least an eight inch clearance from edges of entrance walks.



Solid Brick Wall



Ornamental Iron Fence

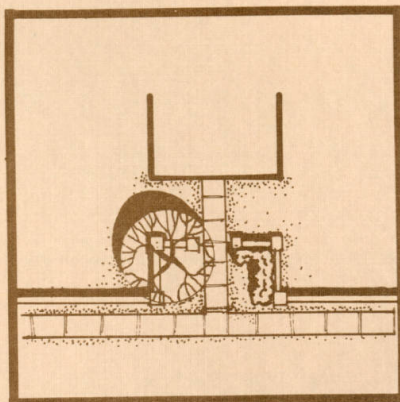


Combination Wall & Piers

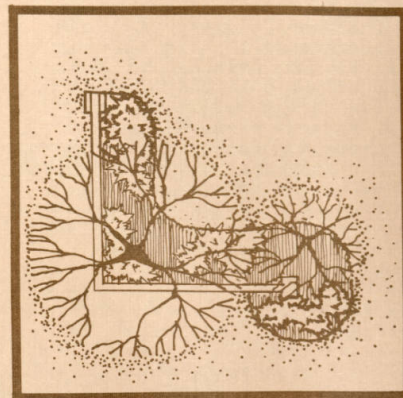
Fencing

- 1 The function of a particular fencing type should be defined before construction.
- 2 Fencing materials and patterns should be coordinated with existing area fencing systems and architecture (setbacks from road or sidewalks, heights, and construction techniques).
- 3 Fencing should relate both to its immediate location and to surrounding areas.
- 4 Fencing should be used to break up large, flat areas with solid materials, transparent materials, or a combination of both.

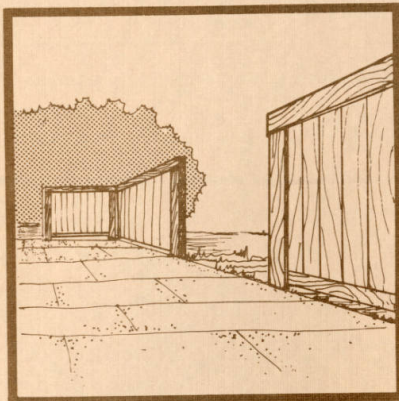
Funnel Approach (plan)



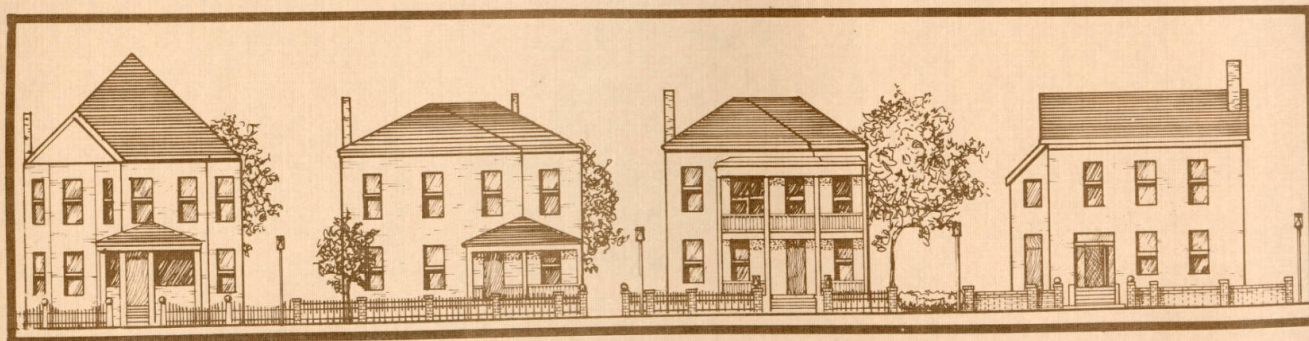
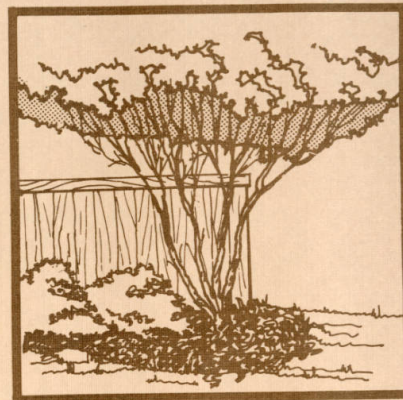
Fence Backdrop (plan)



Spatial Separation



Planting Backdrop

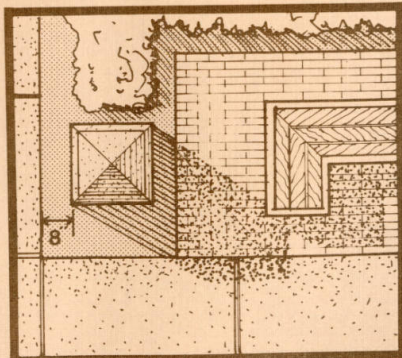
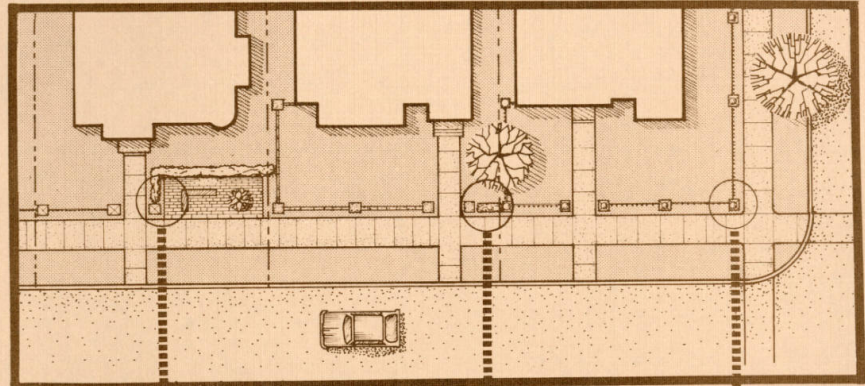


Potential Fencing Elevation

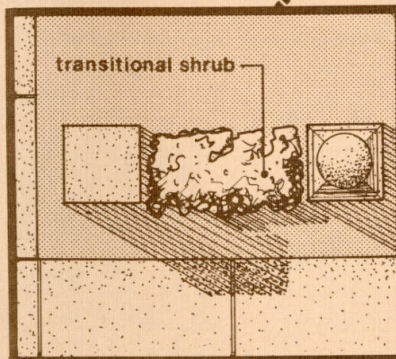
Fencing

Special considerations should be given to proposed fencing in the Town/Franklin area. With the application of a few of these guidelines, fencing will become one of the most unifying elements in the entire area. The fence types mentioned in this chapter are intended for use in the front or street facing yards. These guidelines do not allow for creating privacy using the fencing themselves, because of the height requirements. Private areas are assumed to be a desire for rear or side facing yards, which are considered, and guidelines established for, in the chapter on alley improvements. Although combined with vegetation and mounding, low fences and walls create visual screens where they can be used in creating privacy if so desired. When considering using fencing, don't only consider the area to be fenced but the entire area as a whole, accommodating existing fencing, topography, circulation, vegetation and any other factors that might have an effect on your decision.

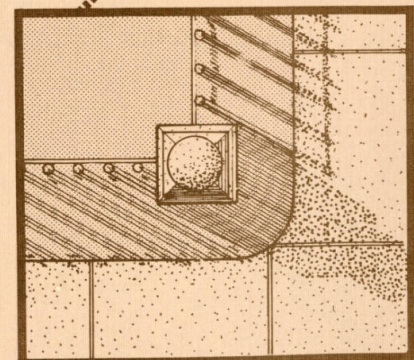
Conceptual Plan



Entry Pier Detail



Transition Detail

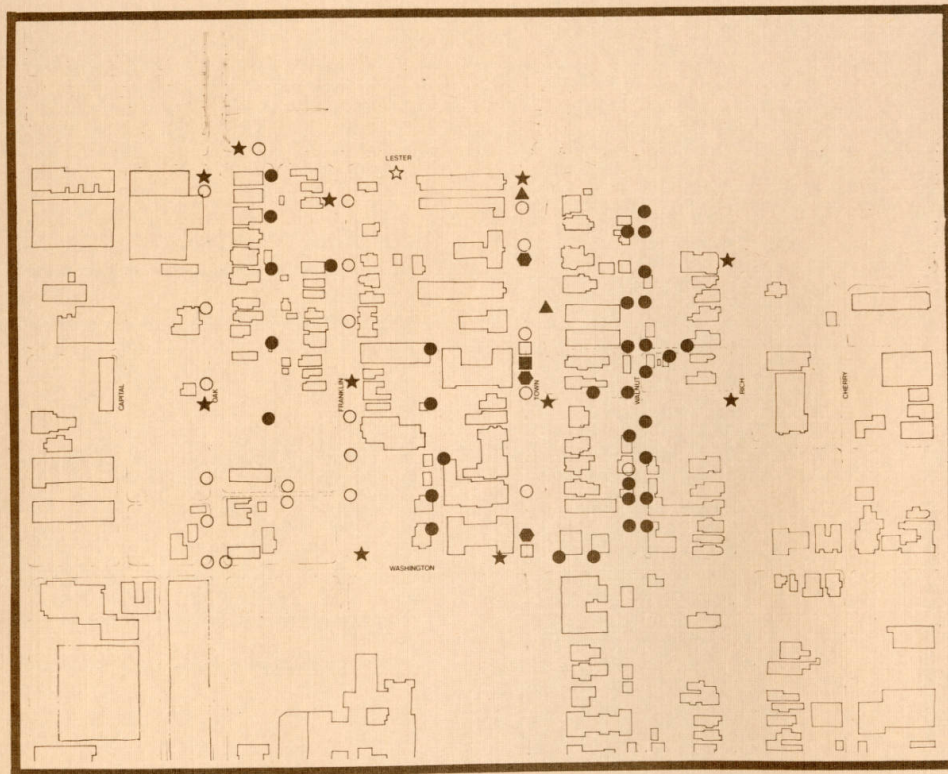


Corner Detail








Street Furniture

Street furniture plays an important part in unifying a community. Despite this fact it is often ignored or haphazardly placed. The map below illustrates the present location of existing street furniture in the Town/Franklin neighborhood. This graphic representation shows that the area is dominated with the sporadic placement of utility poles, as well as improper lighting of the area.

Existing Street Furniture Map



Legend

-  Light Pole
-  Utility Pole
-  Newspaper Box
-  Telephone
-  Fire Hydrant
-  Mail Box
-  Mail Storage

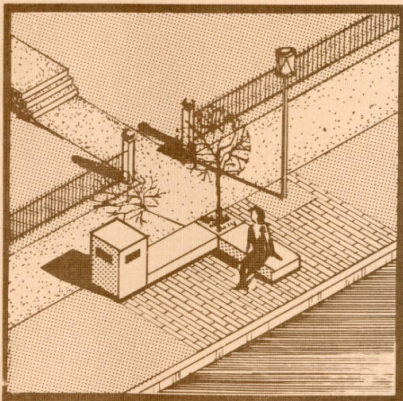
Street Furniture

The term "street furniture" refers to elements in a landscape that serve as sources of pleasure and convenience. Because there is great diversity among people--size, shape, and physical capabilities--the following recommendations are for the general use of street furniture.

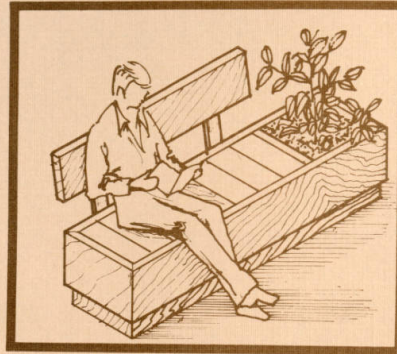
- 1 Street furniture should be consistent in form, texture, and composition.
- 2 Street furniture should be similar to surrounding architecture in character, material, and ornamentation.

Typical street furniture which might be used in the Town/Franklin Area includes the following:

- 1 Seating
- 2 Tables
- 3 Kiosks
- 4 Telephone booths
- 5 Drinking fountains
- 6 Planters
- 7 Bollards
- 8 Tree grates
- 9 Parking meters
- 10 Bus shelters
- 11 Sculptures
- 12 Fences
- 13 Signage
- 14 Bicycle racks
- 15 Fountains



Outdoor Seating



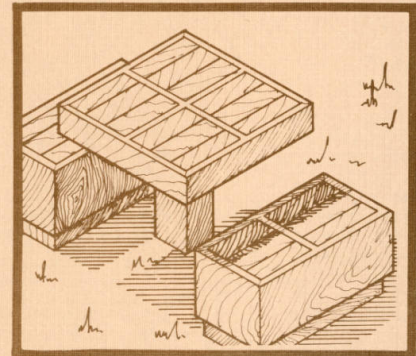
- 1 Seating should be provided to both sunny and shaded areas.
- 2 Seating heights should be 14 inches minimum and 20 inches maximum.
- 3 Average seating spaces per person should be 24 inches.
- 4 Seating widths should be 18 inches to 24 inches.
- 5 Seating surfaces should be slightly pitched to shed water.
- 6 Seats should be placed 24 inches from walkways to avoid interference with pedestrians.
- 7 Paved areas, 36 inches wide, should be provided next to seating for wheelchair.
- 8 Kickspaces should be provided under seats for comfort.
- 9 Outdoor seating should be constructed of concrete or masonry or wood.
- 10 Outdoor seating should be designed with arm and back rests for comfort. Back rests should be approximately 18 inches high.

Seating Walls



- 1 Seating walls should be 14 inches to 20 inches high.
- 2 Walls four feet high and higher encourage leaning and resting packages.
- 3 Light, non-reflective materials should be used in direct sunlight. Shiny, or reflective materials should be used in shaded areas.

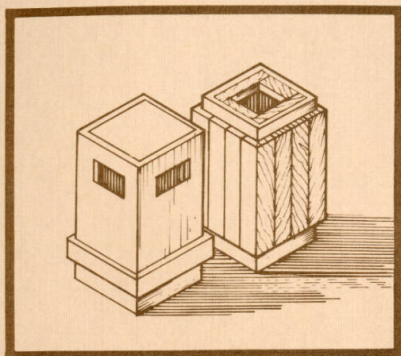
Outdoor Tables



- 1 An 18" x 24" surface should be provided per person.
- 2 Table heights should be 29 inches minimum and 33 inches maximum.
- 3 Seating surfaces should be 24 inches high.
- 4 An 18-inch clear leg space should be provided under tables.

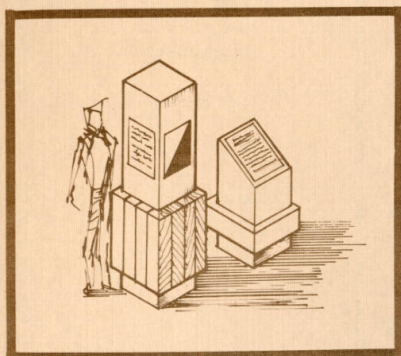
Street Furniture

Trash Receptacles



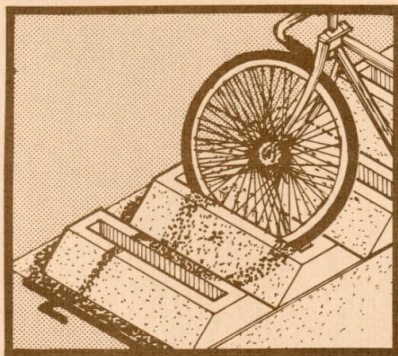
- 1 Trash receptacles should be three feet high.
- 2 Receptacles and inside containers should be sturdy enough to withstand heavy objects.
- 3 Receptacles should be designed for easy maintenance and vandal resistance.
- 4 Receptacles should not be obtrusive in the landscape.

Kiosks



- 1 Kiosks should be located in high activity areas.
- 2 Kiosks should be illuminated after dark by placing them under street lights.
- 3 Information areas should be at an easily accessible height.

Bicycle Racks



- 1 A minimum of two feet should be provided for each bicycle.
- 2 Bicycle racks should accommodate both wheel and frame locking.

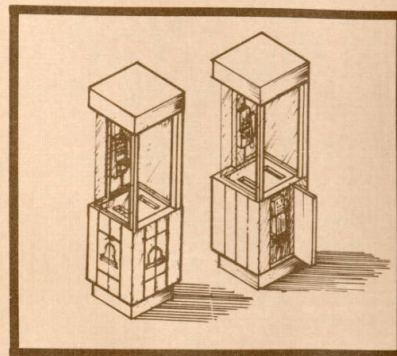
Bollards

- 1 Bollards can be used to separate pedestrian and vehicular traffic where curbs do not exist.
- 2 Bollards can be used as low light sources for pedestrian walks.
- 3 Bollards should be approximately 36 inches or more apart to allow wheelchair access to circulation patterns.
- 4 Bollards should not be placed where vehicular circulation is intense.

Drinking Fountains

- 1 Nozzle heights on drinking fountains should be 33 inches for children and wheelchairs, 36 inches minimum and 39 inches maximum for all others.
- 2 A 29 inch minimum pavement should be provided below fountains for wheelchair maneuverability.
- 3 Drinking fountains should be placed in special pedestrian circulation areas.

Telephone Booths



- 1 Standard telephone height is five feet (to top of phone only).
- 2 Minimum floor area should be 30 inches x 30 inches.
- 3 Telephones should be placed three feet from walkways with paved access.
- 4 Phones should be placed in sufficient lighting and easily visible from the street.
- 5 If possible, phones should be placed in shaded areas.

Summary

Street furniture, like interior furniture, requires organization and aesthetic consideration in order to create comfortable, functional, and pleasing spaces. Street furniture--benches, tables, telephone booths, bicycle racks, and bus shelters--should be located where it can be easily perceived, but it should not be conspicuous or obstructing physically or visually to pedestrian or vehicular traffic. When sympathetically designed and positioned in a landscape, street furniture can create harmony throughout a neighborhood.

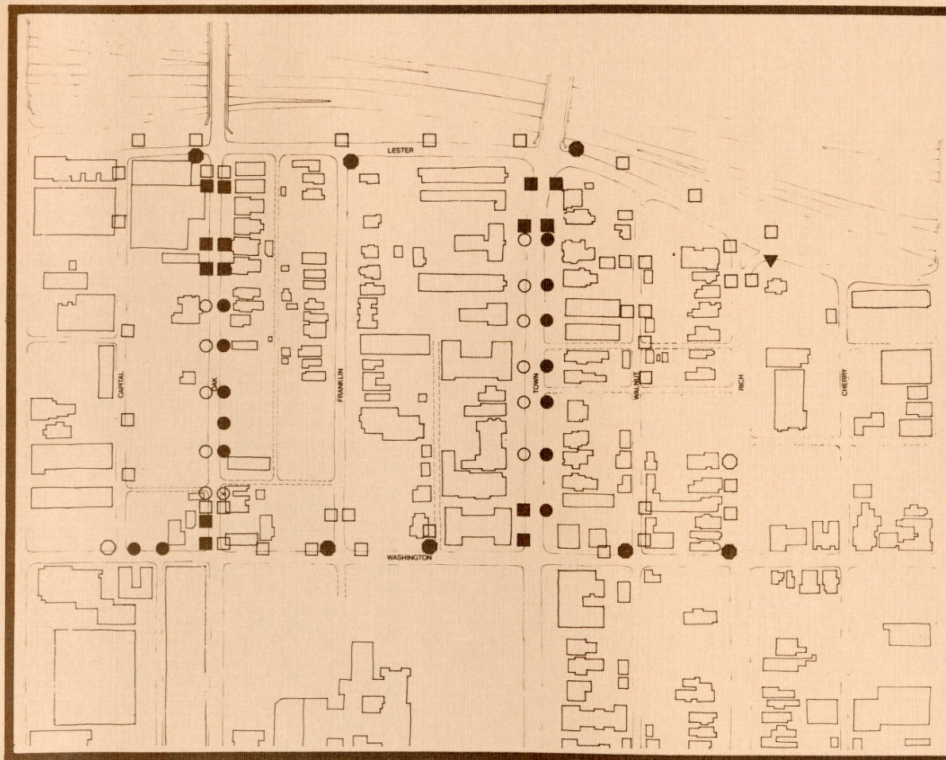
Street Signs

The majority of street signs are located on Town Street and Oak Street. At the present time the random locations and amount of signs along these streets detract from the aesthetic values.

In order to alleviate this problem the following recommendations should be considered:

- 1 eliminate parking zones and their signs
- 2 combine more than one sign at one location
- 3 develop a consistent system throughout.

Existing Street Signs Map



Legend

- No Stopping Anytime
- No Stopping - Bus Stop
- ▼ Yield
- Stop Ahead
- Stop
- No Stopping 7-9 p.m.
- No Stopping 4-6 p.m.



Signage

Introduction

Signage in the Town/Franklin area is not as big a problem as in other areas of the city, but there are problems that need to be corrected before it gets out of control. Unlike other problems in our urban environment, signage can be dealt with directly without tracing back and correcting problems in our economic and political systems. In today's urban areas, the observer is often overcome by messages competing for his or her attention, or his privacy is violated by messages dominating his views with advertising that is irrelevant to his purpose. More often than not signs are confusing and missing essential information that is important to the message it is trying to relay. Public activities and services are poorly identified both visually and for content, and rarely express the activities for which it is communicating. Signs are a powerful but badly neglected source of making our urban environment a more pleasing and meaningful place to live and work. With a functionally and aesthetically organized system of signage we can begin to unify an entire area into a more useful and meaningful place for human interaction. This section will deal with two major systems, one information system for people on foot and one for the passing motorist. There are generally three major types of signs in an urban environment.

- 1 traffic control, vehicular
- 2 identification
- 3 advertising

Traffic control signs are directional signs, speed limit sign, stop signs and no through signs, controlled by city policies and codes.

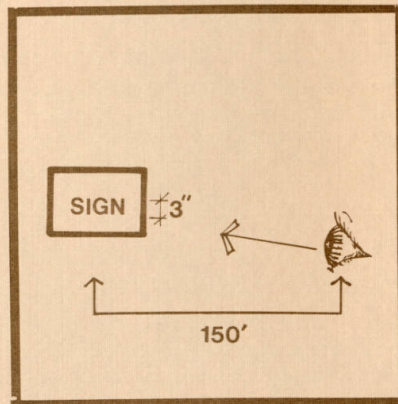
Identification signs designate names, addresses, and types of business or activities conducted on the signed premises. Advertising signs are designed and located to capture attention beyond what is necessary for observers to identify an establishment and take appropriate action.

Since traffic control signs are controlled by the city this section will not deal with their improvement or specifications.

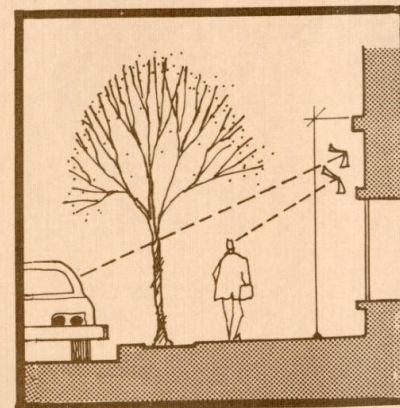
Recommendations

- 1 Lettering size should be 50 feet of legibility per inch of letter height.
- 2 Building identification signs should be a maximum of 12 inches in letter height. This is adequate, for letters of this dimension can be viewed from 600 feet or two city blocks. This size allows time, also, for drivers to identify and stop.
- 3 Signs identifying secondary occupants should be 6 inches in height, a height readable from 300 feet or approximately 1 city block. This also applies to identification of parking areas.
- 4 Street address signs should be required on each building and should be 3 inches high.

- 5 Identification signs for pedestrians should not interfere with signs viewed from the street and should be 3 inches in height.
- 6 Identification signs for pedestrians should not be more than 10 feet above the sidewalk to the top of the sign.
- 7 Each building should be limited to one identification sign and each occupant to one occupancy sign.
- 8 Permanent window signs should not cover more than 10% of the total window area.
- 9 Since all capital or upper case lettering is generally difficult to read, a combination of upper and lower case letters should be used in bold face.
- 10 Signs should be co-ordinated with existing and proposed vegetation masses and not obscured by vegetation
- 11 Graphic symbols should be used whenever possible and should not exceed 5 items per sign.



Section



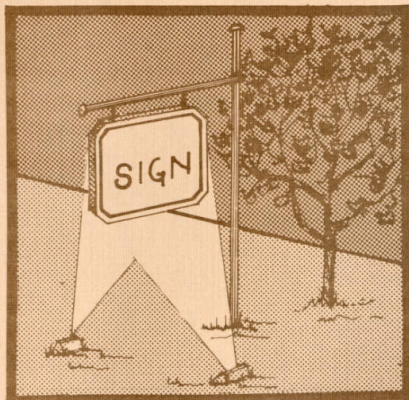
Signage

Advertising signs usually exceed the reasonable limits of identification signs. They should be low key in nature and should not conflict with local rights for identification. Advertising signs are undesirable in historic areas such as Town/Franklin because in most cases they would be visible from residences and found offensive. If advertising signs are desired in shop windows they should be temporary, and not exceed 20% of the window area.

Sign Illumination

Illumination of signs should be limited to what is needed for identification at night hours. This should only be by steady, stationary, shielded light sources directed only at the sign, or internal to it avoiding glare to motorist, pedestrians or neighbors. Illuminated signs such as neon signs should not be used in the area. No sign shall move, flash, or create noise as attention getters because of the hazard to motorist. Red, green, or yellow lights should not be used near intersections where they would add confusion to traffic control lights. Words such as "stop", "Danger" or "look" should also be prohibited due to confusion to drivers.

Up Lighting



Residential Address Numbers

It is important that house numbers be in an easily visible and consistent location. Numbers on fences, walls, trees, stakes, and mailboxes should be prohibited. Numbers should be 3 inches high, of readable color, and follow the suggested rules below:

- 1 If the number is to be placed on the door, they should be centered and 5 feet from the bottom of the door.
- 2 If placed on a solid door, the numbers should contrast in color for easy reading.
- 3 If placed on a transom above the door, the numbers should be centered on the transom.
- 4 If placed on the building, the numbers should be 5 feet above the bottom of the door and located 1.5 feet from either side of the door.
- 5 If placed on steps, the numbers should be located on the second riser down from the top step or porch deck.
- 6 If placed on a porch, the number should hang on a plaque over the steps, directly in front and above the top of the door and centered 8 inches below the underside of the porches soffit.

Address Number's Location



Small Business Signs

Small businesses or offices that are located in the Town/Franklin area should use one consistent style and size of sign. The sign can be attached to its own post or be combined with a private lamp post. Some suggested guidelines for hanging out your shingle follows:

- 1 Signs should be at eye level or approximately 5 feet from the ground plane.
- 2 If hung on a lamp post the post should be 6-7 feet high.
- 3 If hung on an independent post, the post should be 6 inches higher than the top of the sign support.
- 4 The letter size should be 3 inches high.
- 5 The sign's background should be wood or metal and will vary in size depending on the amount of lettering.
- 6 Any post should be a 3 inch (outside diameter) anodized bronze aluminum pipe.
- 7 The sign's cantilever support bar should be 2 inches wide (anodized bronze aluminum), 3/8" thick hanging bars or chains, bolted through the cantilever support bar, should be used for hanging the sign.
- 8 The length of the support bars will vary with the width of the sign's background.

Business Signs



Signage

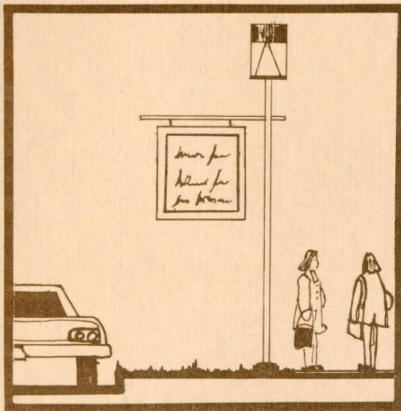
Commercial Sign Systems

To affectively cope with the signs in the Town/Franklin area a consistant integrated system needs to be developed. The signs adjacent to the streets should be grouped together, given a common style, and placed in strategic locations along the roads benefiting whoever they are intended for. If all the signs were of correct letter size as previously noted, with different letter style for variety, and placed in a series of related groupings, the area would immediately take on a new look of consistency. One harmonious grouping per normal city block is sufficient for identifying the subject. If consistently done throughout the area it will become a natural thing for passing motorists to look for subject identification on these groupings. These groupings can be combined with light posts, trash containers, or even phone booths where available.

Lettering Style

While all the controls on size, color, and placement of signs are important, letter style is a major factor in preventing a monotonous system. Within these guidelines, there are no controls or limitations on letter

Lamp/Sign



style. The style should be consistent with the character appropriate for the shop, or the message for which is trying to be conveyed. The only limitation on style is that it does not interfere with the legibility of the overall sign. Some possible letter styles for signage follow:

Sign Color

Color plays a very important role in the readability of a sign. It should be non offensive, compatible with architecture, and

Background

Letters

GOLD	←	RED, BLACK BROWN GREEN
DARK BROWN	←	ORANGE WHITE GOLD YELLOW
BRICK	←	GOLD BROWN BLACK

Example Lettering Styles

Comstock

Cooper Black Italic

Franklin Gothic

Franklin Gothic Cond.

Goudy Extra Bold

Grouch

Helvetica

Tiffany Medium

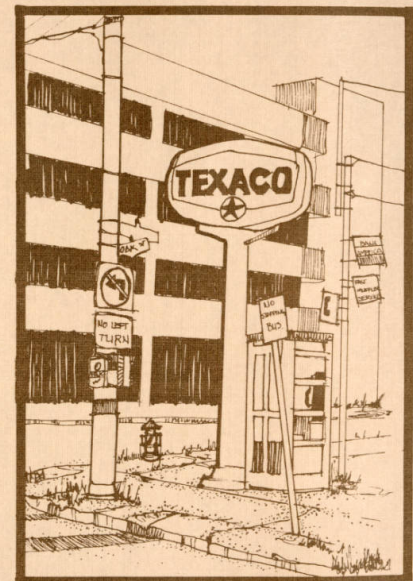
Tiffany Demi

Pistilli Roman

should be contrasting between letters and background. A dark letter on a dark background is extremely hard to read at a distance compared to light letters on dark background or vice-versa. This does not necessarily mean white and black, light and dark browns work well as do brown on gold.

By the use of a better more organized signage system, along with a few restraints, the people of Town/Franklin and the surrounding areas will become better equipped to find the information they need. The area will become more organized and pleasing for residents as well as passers by which would establish a model for all of Columbus to be proud of. As stated before, this is a problem that can be directly solved with little expense to the property owner, yet getting a big return on their investment by beautifying the area.

Existing Conditions



Summary

The landscape elements suggested in the Town/Franklin Neighborhood Guidelines will both aesthetically and functionally improve the environment of the Town/Franklin Area. In planning for the revitalization of a neighborhood, rehabilitating the outdoor environment is of prime importance.

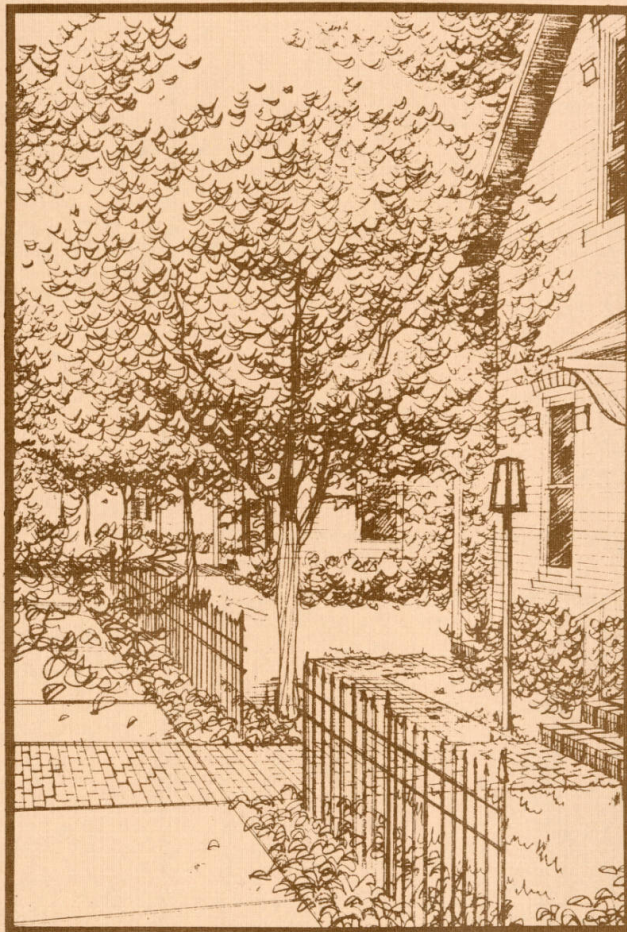
Landscape elements can define the physical boundaries of a neighborhood as well as improve both the visual periphery and inter-jacent sections of an area for residents and surrounding neighborhoods alike. Some basic improvements that should be implemented in the encompassing environment of the Town/Franklin Area are listed below.

Improvements

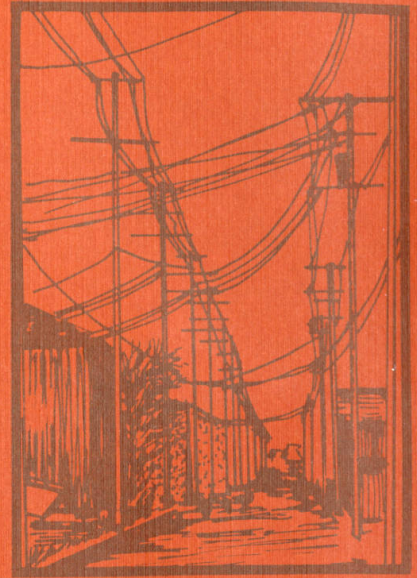
- 1 General clean-up of front and rear yards
- 2 New pavement patterns to replace and/or repair deteriorating traffic paths and walkways
- 3 Restoration or replacement of fencing systems
- 4 Installation of light fixtures to define circulation paths and entrances
- 5 Plantings to reinforce circulation and architectural patterns
- 6 Definition of level changes to improve circulation



3.38
Before



After



**alley
improvements**

4

Introduction	1
Parking	2
Paving	3
Lighting	4
Fencing	5
Trash Removal	6
* Alley Improvements	7

Introduction

The areas in the Town/Franklin Neighborhood Study that are included in this chapter are Elliot Alley (between Oak and Franklin), East Chapel Alley (between Franklin and Town), and Walnut Alley (between Town and Rich).

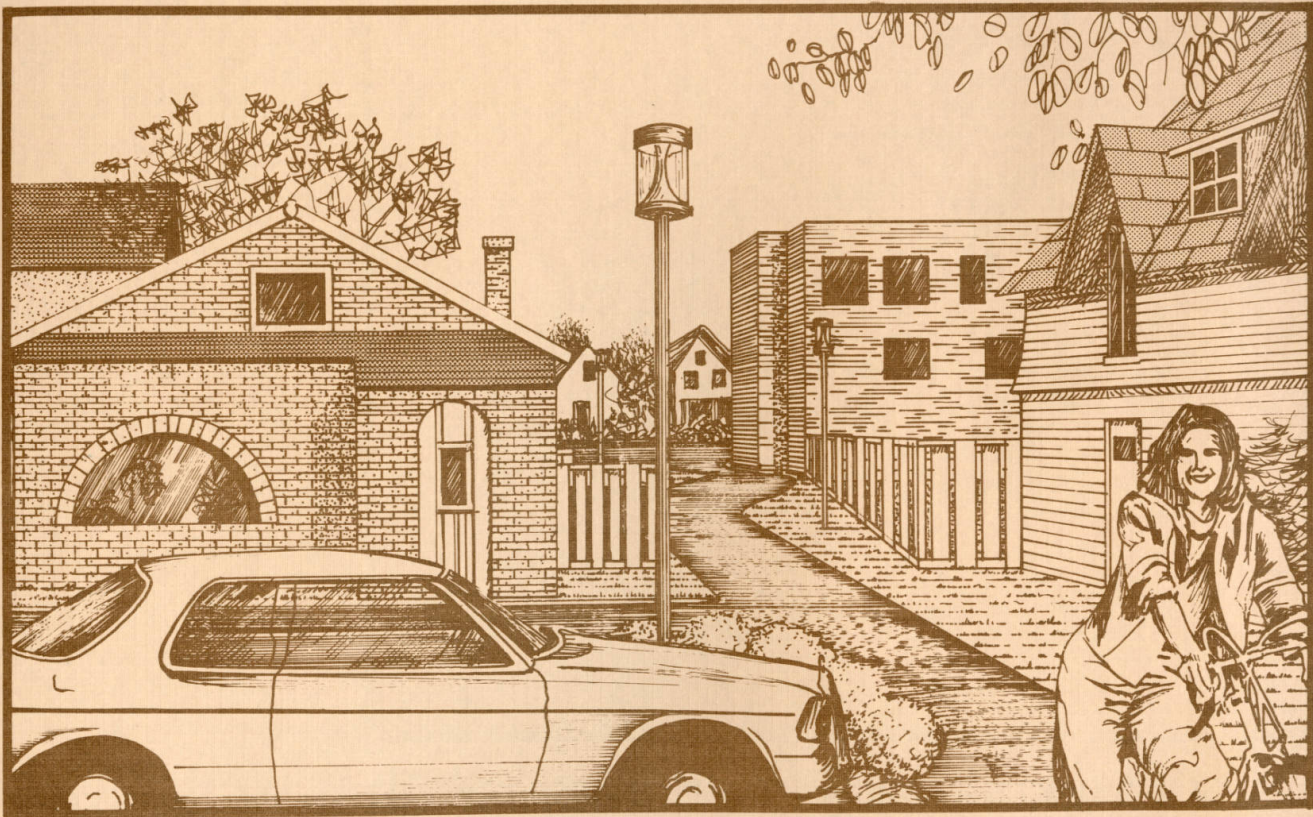
Problems

- 1 Unorganized, inefficient, and overcrowded parking systems
- 2 Poor quality of paving
- 3 Inadequate lighting
- 4 No integrated fencing system
- 5 Unsightly power poles, trash cans and dumpsters

Objectives

Improvements of some type in all of the above categories must be made in the Town/Franklin Area to make the area more attractive to potential buyers and/or tenants. Alley systems should be considered equal in importance in upgrading and development as other components being developed in the area and should be improved at a corresponding rate of speed. The major objectives of this chapter are to present some guidelines to area property owners that can help them to solve the problems of parking, paving, lighting, fencing, and trash removal that currently exist in the alleys.

Potential Alley Improvement Sketch

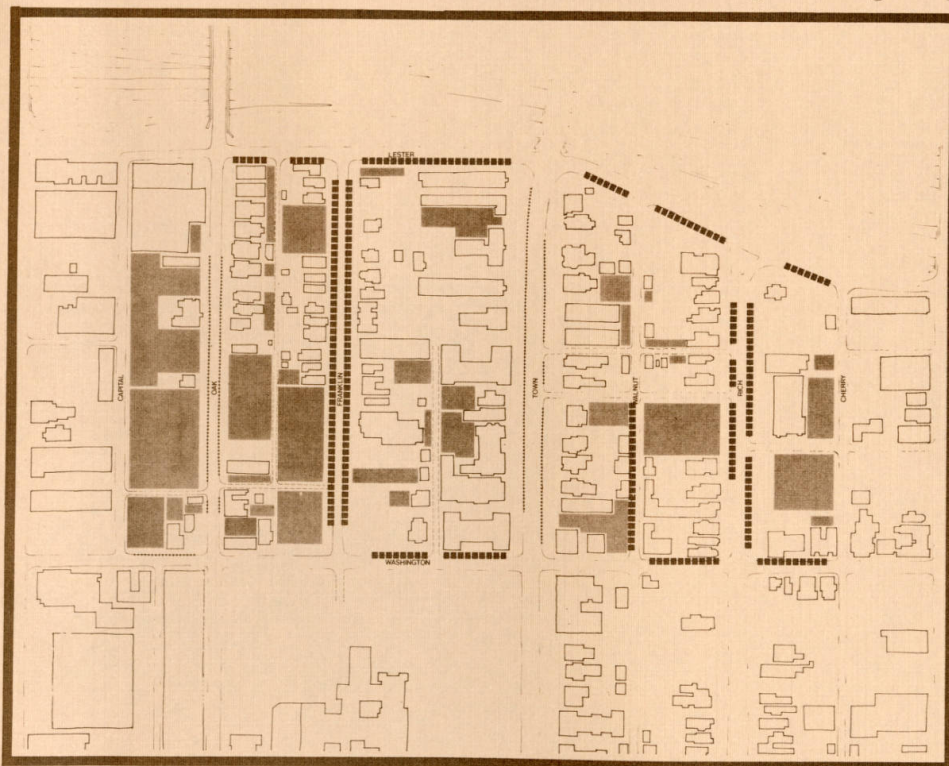


Parking




Parking in the Town/Franklin Neighborhood presently exists on streets and alleys. Organization of these parking areas would improve the visual appearance and efficiency of these areas. Existing problems relating to parking in the Town/Franklin Area are the following:

- 1 Poorly designed spaces
- 2 Little distinction between areas of vehicular and pedestrian traffic
- 3 Inadequate number of parking spaces
- 4 Inadequate paving and curbs
- 5 Unorganized trash and storage facilities.
- 6 Poor definition of public, semi-public and private parking areas

Existing Parking Map



Legend

-  Parking Lot
-  Restricted on Street
-  Non-Restricted on Street



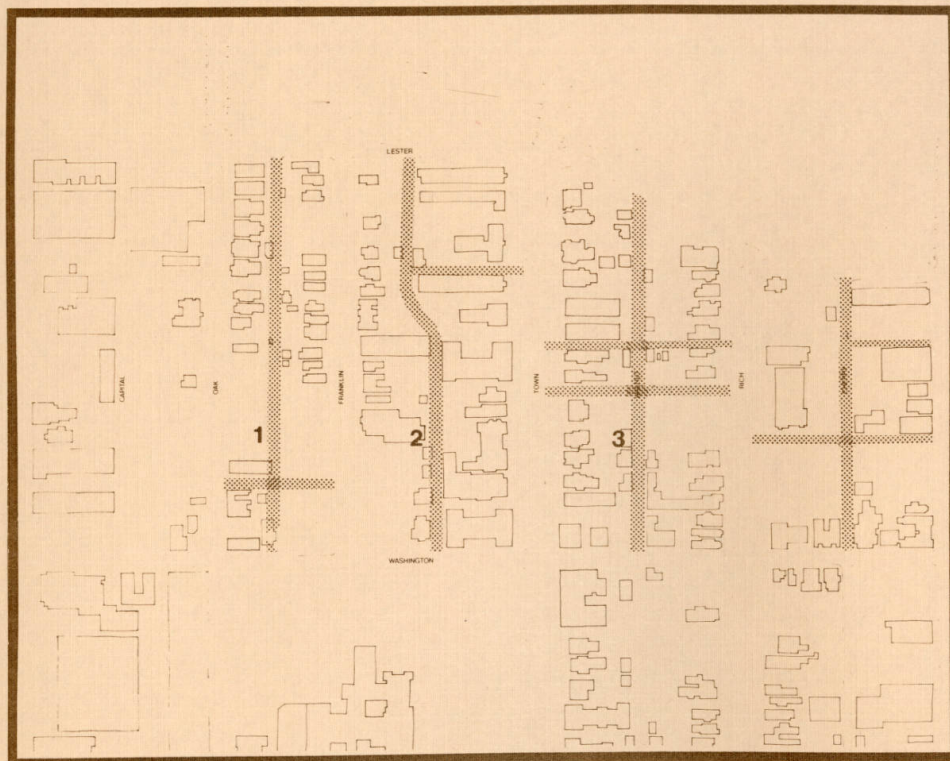
Parking

The present parking plan for the Town/Franklin Neighborhood does not lend itself to the residential character of the area. Therefore, it is proposed that the entire parking system of the area be changed to accommodate the needs of the residents. This can be done by developing parking in the alley system, which will alleviate the number of parked cars on the major streets. Development of parking in the alley system will:

Recommendations

- 1 improve parking space potential.
- 2 segregate parking from through traffic.
- 3 segregate private and public parking.
- 4 provide better vehicular circulation on major streets.
- 5 focus attention to rear yard development.
- 6 eliminate all restrictive parking zones.
- 7 aid residents in closing down streets for neighborhood activities.
- 8 provide adequate parking for residents, if a street is permanently closed to provide a pedestrian mall.

Existing Alleys Map

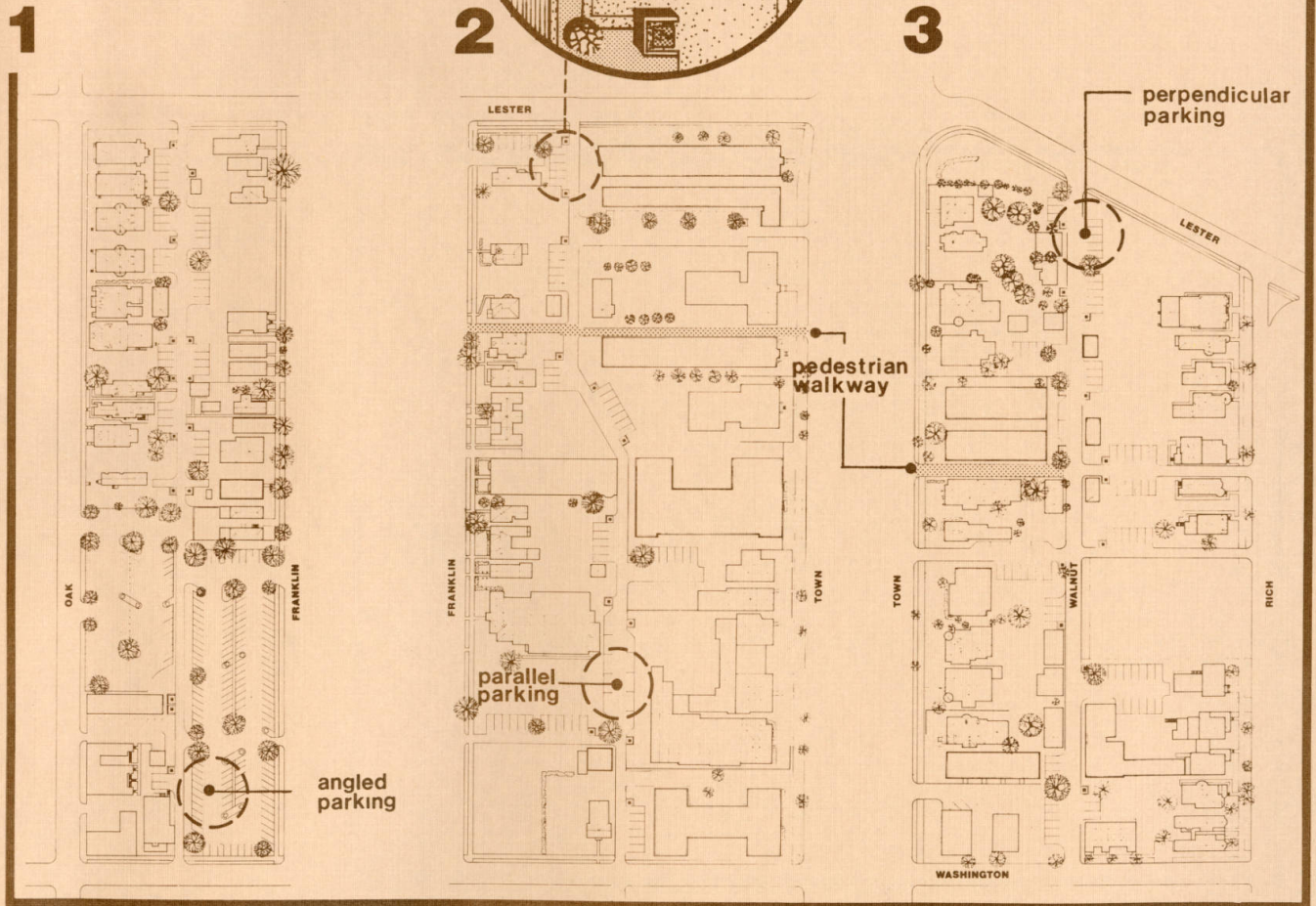


Legend



Parking

Following are examples of alley parking schemes showing only a few solutions to problems of parking. These schemes show that parking can be organized attractively and efficiently with the use of landscaping and that small scattered lots reinforce traits characteristic to a neighborhood better than do large open lots.



4.4 Alley Plans

Parking

To characterize alleys as private spaces and to maintain the residential traits of a neighborhood, parking areas should be small and scattered. The following factors should be considered when planning a parking area to maximize the space provided.

- 1 Traffic patterns
- 2 Pedestrian walks
- 3 Stall and aisle widths
- 4 Turning radii
- 5 Location (for convenience)

Recommendations:

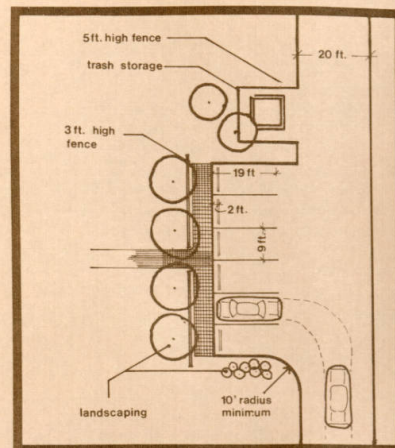
- 1 Create cooperative lots for use by more than one housing unit. Each lot should be within 200 feet of a respective dwelling.
- 2 9' x 19' spaces should be allowed for automobile parking.
- 3 Landscape elements should be incorporated into the design of parking areas.
- 4 Use curbs, paving changes and bollards to distinguish vehicular, and pedestrian areas.
- 5 Areas with similar functions should be paved with the same materials.
- 6 Alley corners should be rounded with a 10' minimum radius.

Three parking arrangements possible in alley systems are:

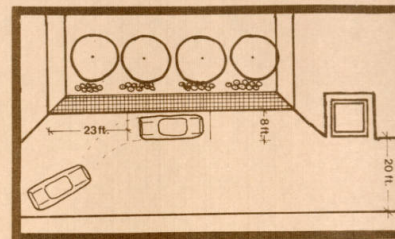
- 1 Parallel parking
- 2 Perpendicular parking
- 3 Angled parking

These are illustrated to show typical spacing, landscaping and trash storage areas.

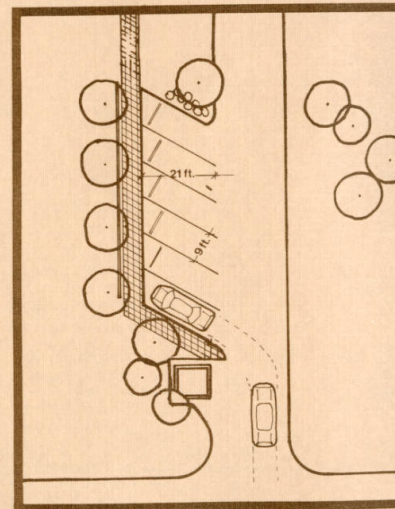
Perpendicular Parking



Parallel Parking



Angled Parking



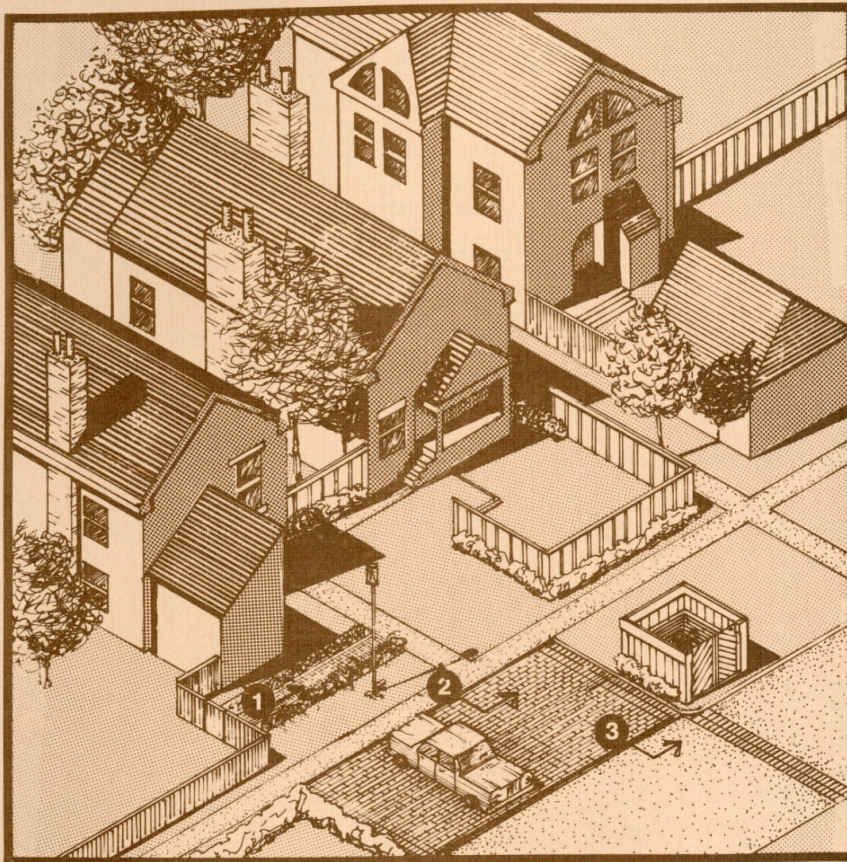
Paving

There are many considerations in the proper selection of paving materials. A few of the general ones are:

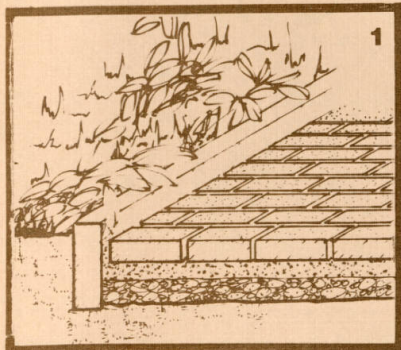
- 1 where it is being placed
- 2 what type of use will it be subjected to
- 3 what type of paving is used around it

Areas between buildings that are constantly in shade or areas where it is difficult to maintain plantings should be paved. In paving areas of this nature an attempt should be made to create a more pleasant area such as a patio and not to just cover over a trouble spot.

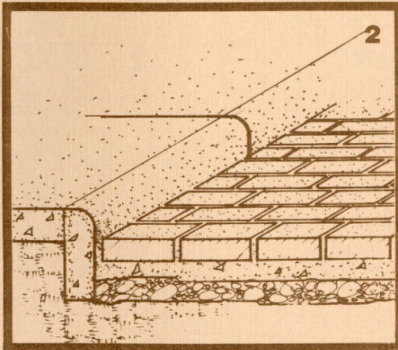
The type of paving is determined in part by the scale of the area and its users. Brick is of a human scale while asphalt is of a larger, more mechanical scale. If concrete is the desired paving material yet a human scale is also desired then a greater number of saw joints or the use of brick pads set throughout the concrete will achieve these goals. The use of paving lends itself to many different patterns and textures, which can be used to create different traffic flow. Brick tends to slow down both pedestrian and automotive traffic where concrete and asphalt create faster movement. The more intricate a pattern is, no matter what the material, the slower traffic will travel.



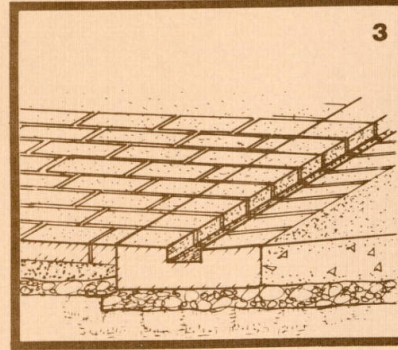
Alley Improvement Paving Concept



Planting / Wood Edging



Concrete Curb



Brick / Concrete Alley

Lighting

Existing lighting in the Town/ Franklin Neighborhood is presently inadequate. In order to provide a safe and secure environment for evening and night time activities, improvements should be made. Those areas requiring improvements are walkways, parking areas, and alleys.

Recommendation

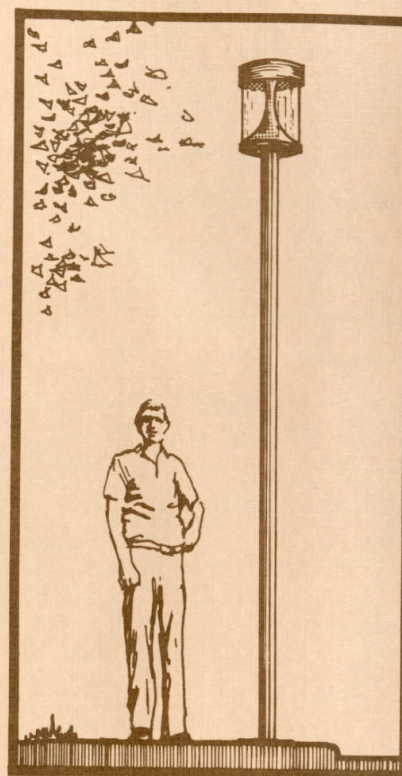
- 1 Provide uniform illumination of at least one foot-candle of illumination in parking areas.
- 2 Illumination at entrances and exits should be twice that of other areas.
- 3 Fixture spacing should not exceed four times the luminaire height (14 feet).
- 4 Light fixtures should be weather and crime resistant.
- 5 Lights should be placed to provide maximum illumination with minimum glare.
- 6 Use "warm" lighting for walking areas.

Lighting Type

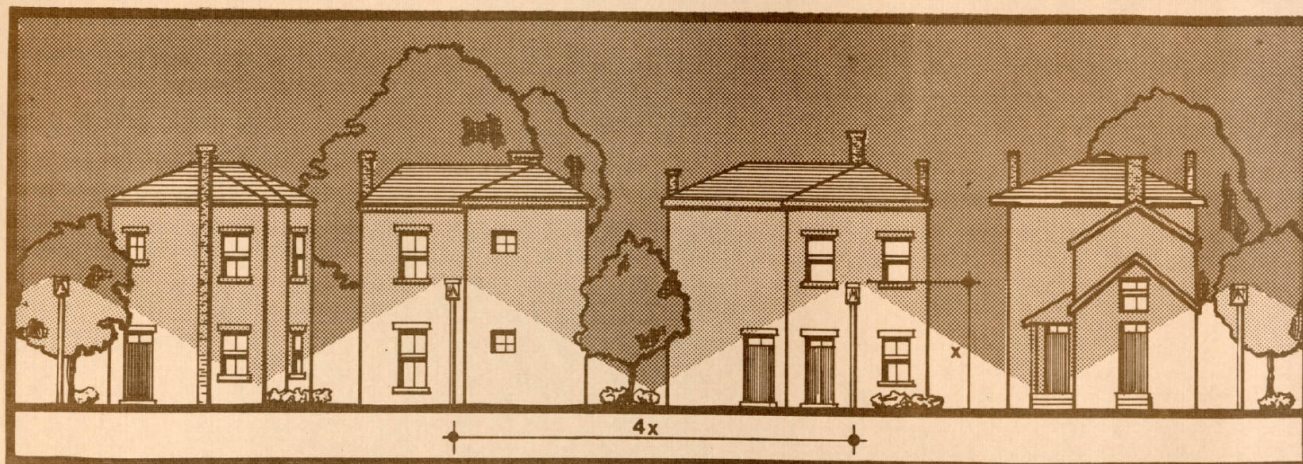
The Crouse-Hinds/LRL Luminaire is recommended to maintain the residential character of the area and to provide adequate intensity and quality lighting. It is durably constructed of heavy anodized aluminum and comes with a brushed brown finish. The fixture incorporates a parabolic reflector which directs a 250-watt metal halide light down to the ground with a minimum of direct glare. A low mounting height (14 feet) is used to maintain a residential scale in the area.

Note :

An additional list of general lighting recommendations is found in Chapter 3.



Typical Lighting Placement Elevation



Fencing

Existing fencing in the Town/ Franklin Neighborhood alley areas is not developed to its fullest potential and could be improved visually through establishing a consistency in style and materials.

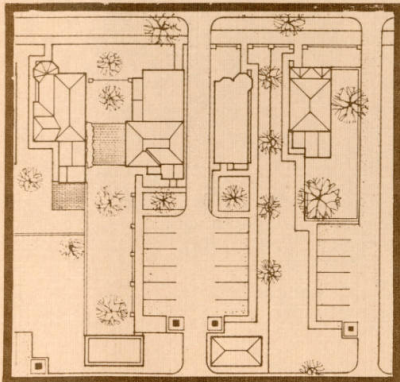
Improvements should:

- 1 separate spaces for different uses both physically and psychologically.
- 2 organize and order the environment by differentiating between public and private spaces and controlling circulation.
- 3 complement vegetation screens.
- 4 complement views and vistas.

Recommendations

- 1 Use low, solid fencing wherever possible to break up flat topography. (The farther away from a building, the lower the fence should be.)
- 2 Use consistent materials, heights, and module intervals in fencing patterns.
- 3 Relate fencing materials to building materials.
- 4 Survey views to determine those that should remain unobstructed by fencing.

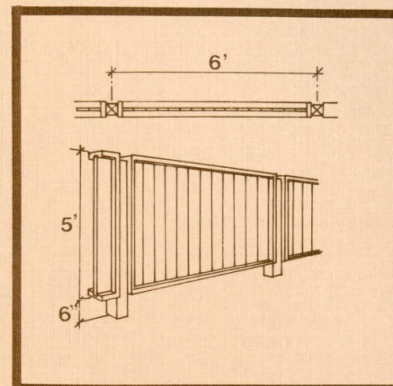
Possible Alley Fencing Plan



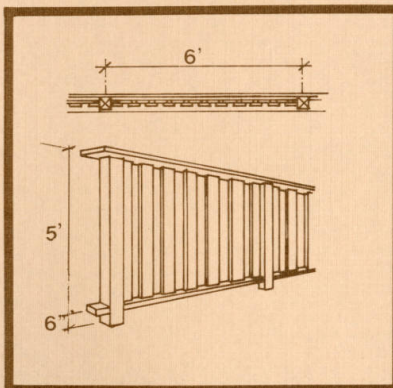
Types

- 1 Masonry: Highest initial cost, least maintenance required.
- 2 Wood: Moderate initial cost, considerable maintenance required.
- 3 Ornamental Iron: High initial cost, low maintenance required.
- 4 Hedgerows: Low initial cost, moderate maintenance required.

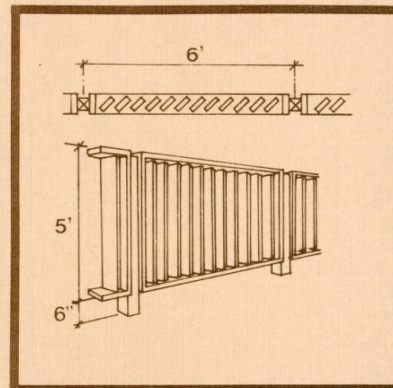
Panel



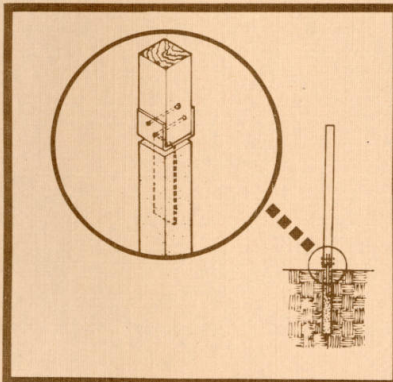
Staggered Board



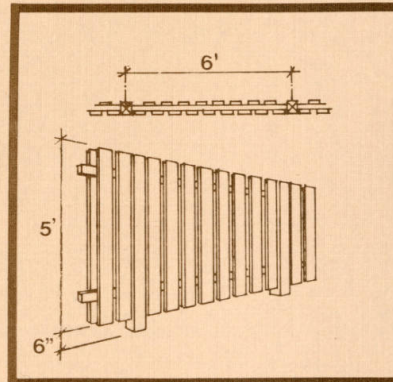
Louvered Panel



Post Mounting Detail



Wood 1x4 Screen



Trash Removal

The trash removal system currently existing in the Town/Franklin Neighborhood is inefficient. The trash receptacles and dumpsters are visually offensive and negligently placed in the alleys. Because they do not adequately facilitate the removal of garbage, they have a detrimental effect on the environment.

A series of enclosed trash areas located directly off the alleys and oriented in one direction would facilitate the easy removal of garbage. These areas should be concealed by a screening system, not only for aesthetic reasons, but also to contain trash spillover which occasionally occurs. Some screening systems available are:

- 1 Concrete slab on grade with a brick screen wall. Cost is approximately \$800. Adequate pad drainage is necessary, as well as a hose connection near the screen for sanitary purposes.
- 2 Redwood fence screen. Cost is approximately \$166.
- 3 Screening hedge with short fence. Cost is approximately \$87.

The type or number of trash containers used depends on the quantity of trash generated. For example, one cart or two cans will serve every two single-family dwellings. However, if trash generated is over 300 gallons per week for one building, consideration should be given to a large dumpster.

Sanitation Collection

Trash is collected from the Town/Franklin Neighborhood residents on every Monday by the Sanitation Division of the Public Service Department. Watertight trash containers not exceeding 30 gallons in volume or 3 mill trash bags may be used as containers.

Unauthorized items such as construction waste, tree stumps, logs, heavy limbs, and loose brush will not be collected and must be disposed of by the occupant.

Most commercial trash collection is done on a contract by private haulers, however pick-up service is also available on a contract basis through the Division of Sanitation.

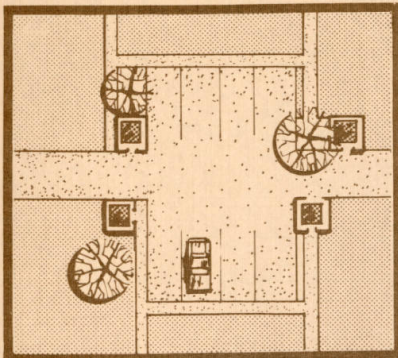
In conclusion, three steps should be taken to improve the existing trash removal system in the Town/Franklin Neighborhood. They are:

- 1 Provide screening
- 2 Provide trash receptacles of proper sizes per each dwelling within each trash area.
- 3 Locate trash areas directly off alleys and orient them in one direction only.

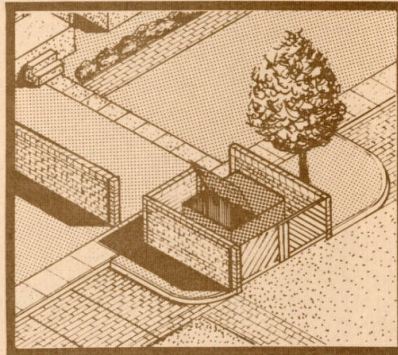
Rodent Control

Columbus Health Department
181 S. Washington Blvd.
Columbus, Ohio 43215
222-8191

Plan



Isometric



Rodent



Potential Alley Improvements

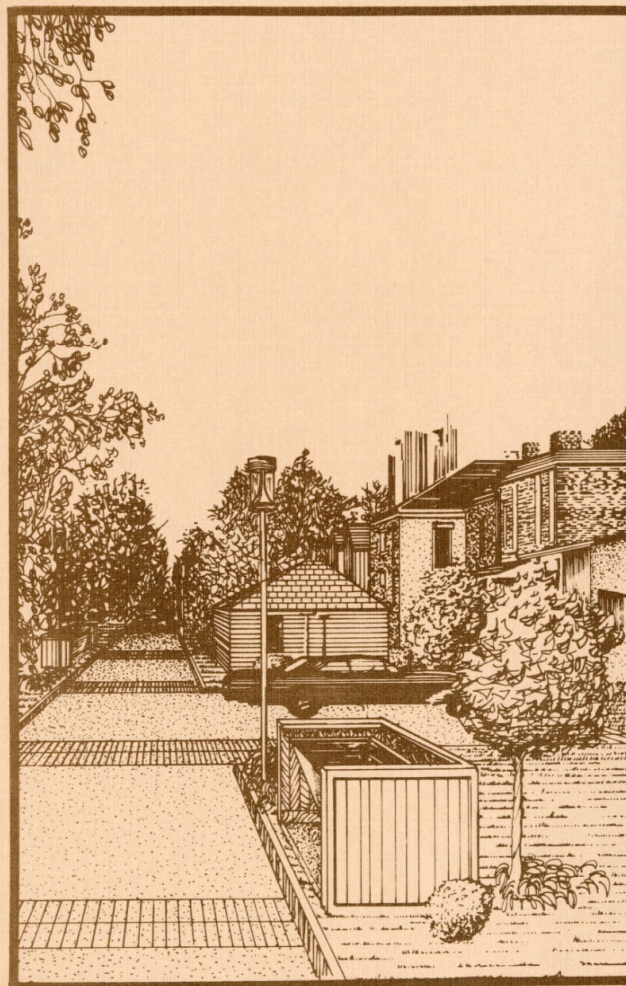
There is considerable potential for creating a very safe and enjoyable environment in the alleys of the Town/Franklin Neighborhood. Great improvements can be realized by implementation of only a few of the guidelines. One possible result of the alley improvements recommended is illustrated below.

Improvements

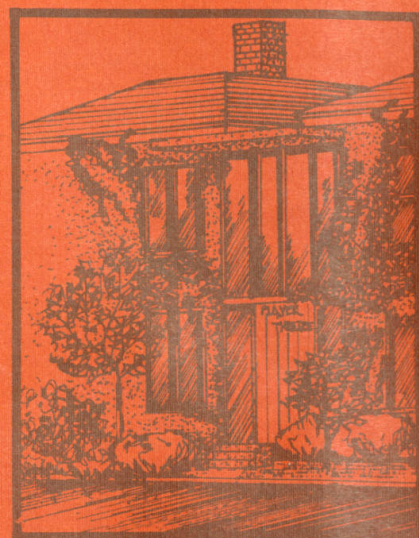
- 1 General clean up.
- 2 Resurfaced roads and new curbs.
- 3 Organized parking areas.
- 4 Adequate lighting.
- 5 Organized and screened trash receptacles.
- 6 Provision of pedestrian circulation systems.
- 7 Privacy screening for rear yards.



Before



After



**alternate
land
use**

5

Introduction	1
 Zoning	2
 Utilities	3
 Vacant Sites	4
Recreation Development	5
 Park Development	6
Buildings On Large Sites	7
 Buildings On Alley	8
 Infill Buildings	9
Alternative Building Use	10
 Interior Renovation	11
 Example Projects	12

Introduction

This chapter deals with methods of improving the Town/Franklin Area through alternate land uses. The goals are:

- 1 to revitalize the area and increase community interest in revitalization.
- 2 to generate unifying factors which will distinguish a "neighborhood" identity.
- 3 to establish building types that are needed and can be supported by the Town/Franklin Area.
- 4 to distinguish those universal factors that offer compatibility and harmony between the new and the old.

These goals can be achieved by:

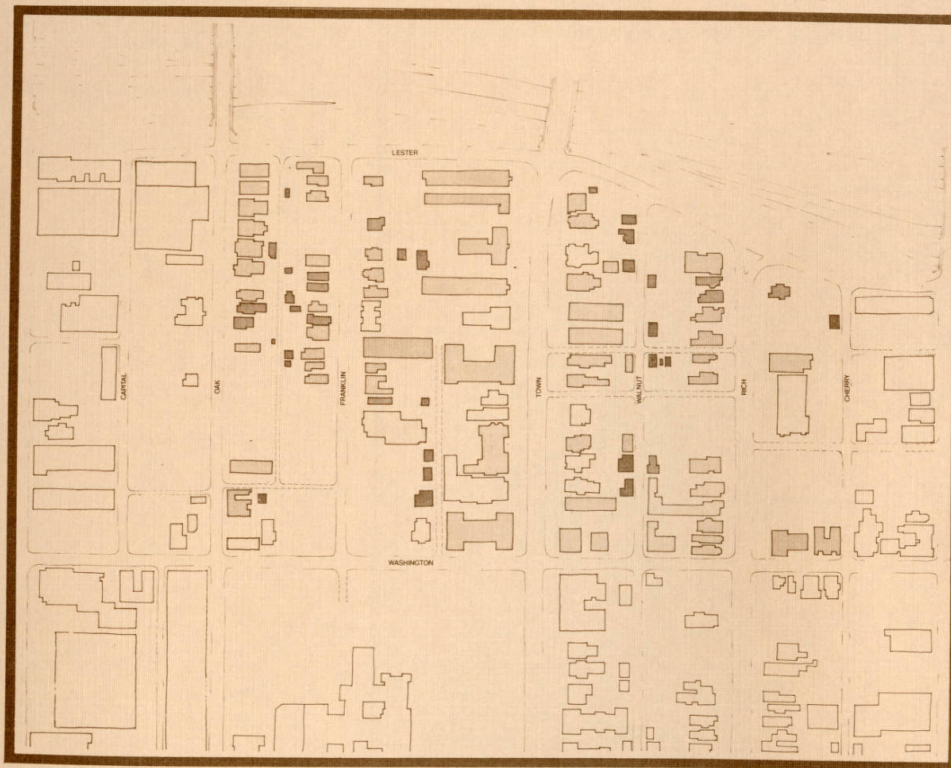
- 1 introducing new buildings.
- 2 providing recreational space on vacant lots.
- 3 recycling or remodeling existing buildings.

These improvements will:

- 1 lower crime in the area.
- 2 promote community interaction.
- 3 increase personal pride in the area.
- 4 increase land values.
- 5 improve the quality of life in the inner-city.

The key map below shows present building uses in the Town/Franklin Area.

Existing Building Use Map



Legend

- Office
- Business
- Apartment
- Single Family
- Garage



Zoning

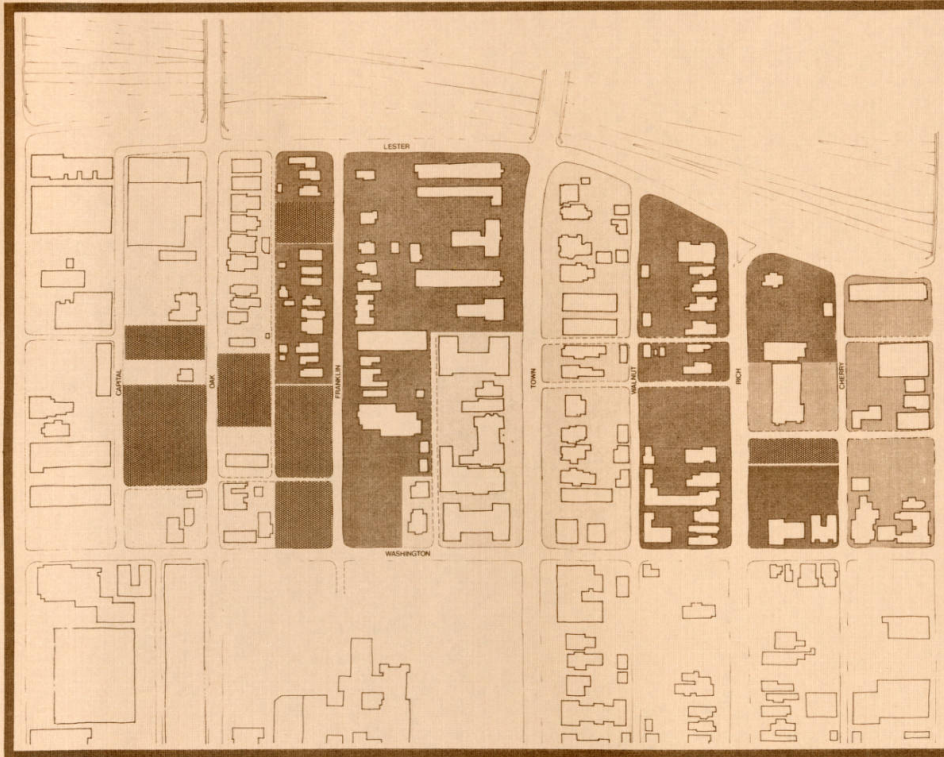
The Town/Franklin Area is divided into five different zones. These are areas partitioned by ordinances for different purposes: residential, business, or manufacturing. The lists below are to help determine what uses will be allowed in certain areas of the neighborhood. The map that follows shows how the Town/Franklin Area is divided.

AR-O





Dwelling for one to four families
 Apartment hotel
 Art studio
 Bank
 Church
 Clinic, private or public
 Library, public
 Museum, public
 Photography studio
 Philanthropic offices, uses
 Public park or playground
 School, public, private, or parochial



Existing Zoning Map



Legend

-  AR-O
-  AR-2
-  P-1
-  C-3
-  C-4



Zoning

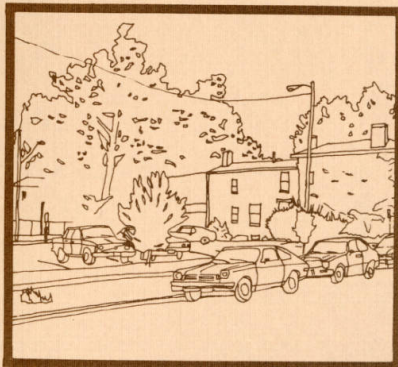
AR-2

Apartment hotel
Fraternity house
Clubhouse
Sorority house



P-1

Private parking without charge
Office for attendants



C-3

Appliance, electric or gas
Art studio
Assembly hall
Auto park
Bakery (retail)
Bank
Barber and beauty shop
Bookstore
Business college
China store
Clinic, private or public
Custom tailor
Dancing school
Delicatessen
Drugstore
Dry cleaning
Dry goods store
Florist shop
Funeral parlor
Furniture store
Gift shop
Grocery
Hospital, private or public
Hotel
Ice cream and dairy products sales
Jewelry store
Laundry agency
Meat market
Men's ready-to-wear
Millinery shop
Motel
Motion picture theatre
Music store
Office building
Paint store
Photographic studio
Photographic supplies retail
Private school (not trade or business)



Radio studio
Restaurant (excluding dancing or entertainment, alcoholic beverages)
Shoe store
Shoe repair store
Theatre
Trade school
Wallpaper store
Women's ready-to-wear

C-4

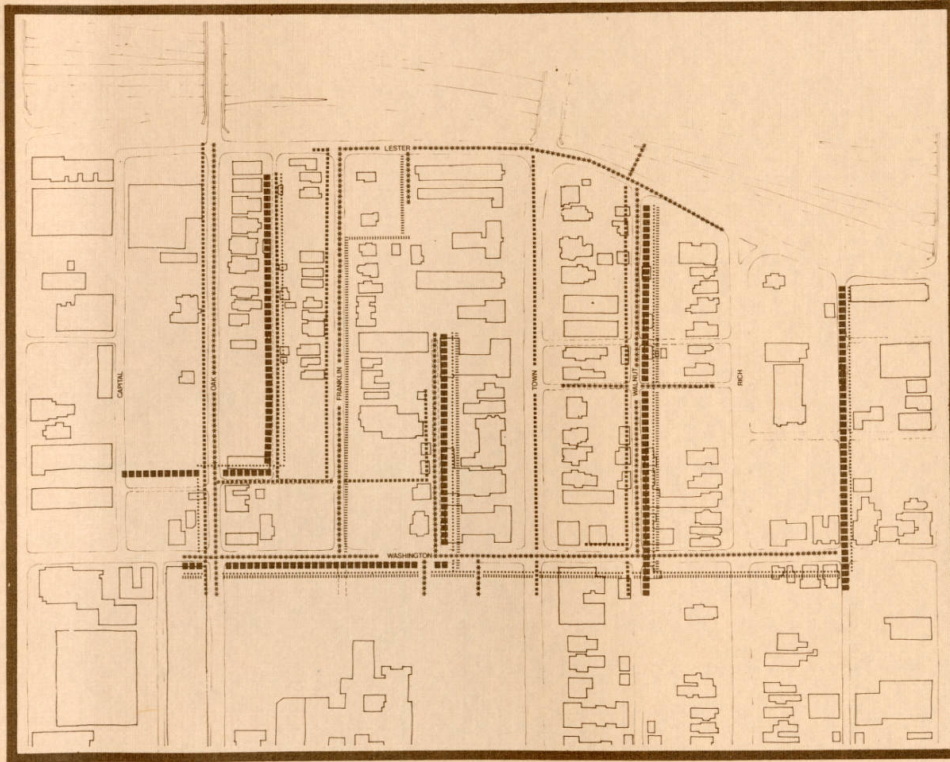
All C-3 uses and:
Automobile salesroom
Bowling alley
Bicycle repair shop
Cabaret
Clothes pressing and cleaning
Custom shop
Dance hall
Fish market
Garage repair shop
Laundry
Night club
Plumbing shop
Private club
Skating rink
Storage garage
Supermarket
Tinsmith
Tire repair shop
Upholstery shop
Veterinary hospital (small animals)








Utility Map

The purpose of this map is to locate existing utilities. Before beginning new construction or alley improvements in the planning phase of the Town/Franklin Project, utility locations should be verified by telephone at 222-7750. Utility companies should also be contacted for assistance and information

Existing Utility Map



Legend

-  Gas
-  Electric
-  Water
-  Sewer
-  Telephone



Vacant Sites

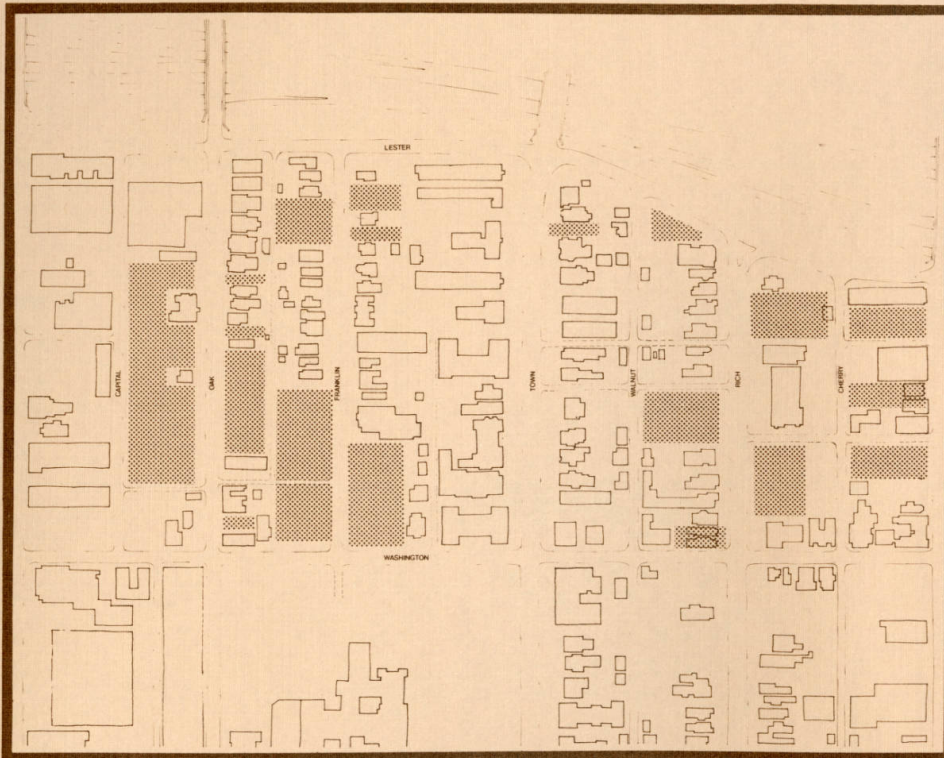
Vacant land in the Town/Franklin Area could be used to stimulate the community socially and economically. While empty, land could be used for the following:

- 1 Festivals or celebrations
- 2 Sports activities such as football, baseball, soccer, or volleyball. Courts for croquet, horseshoes, or badminton could be set up, and skating could possibly be accommodated during the winter months.

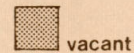
- 3 Dances and picnics. These could be augmented by the use of temporary structures such as tents or kiosks.
- 4 Community gardens (formal or vegetable)

Vacant land could also be devoted permanently to recreational use, as described in the next few pages.

Existing Vacant Site Map



Legend



Recreation Development

Introduction

Recreational areas are an important asset to a community. The Town/Franklin Area is presently lacking these areas. The maximum distance that a recreational area should be from the user is one-quarter of a mile. Recreational areas are divided into two basic types:

- 1 Parks
- 2 Gardens

These types can be developed separately or together. If empty lots in the Town/Franklin Area are to be developed, certain guidelines should be followed to ensure the greatest benefit to both owner and user. Recreational areas should be functional, economical, durable, safe, low maintenance, and clean, but most important, they should be used.

Playground 1

- 1 Play areas should provide a variety of colors and textures.
- 2 Play areas should be grouped into small, natural play groups.
- 3 Play areas should be surrounded by a fence or planting wall.
- 4 Swings should be located away from active play areas.
- 5 Swings should be oriented away from the sun.
- 6 Slides should face north, away from the summer sun.
- 7 Swinging and climbing areas should be covered by soft paving such as sand or grass.
- 8 Seating areas for adults should be provided in shaded areas; some should overlook play areas.

Activity

Climber	10' x 15'
Swings	16' x 32'
Play wall	10' x 10'
Sand area	30' x 40'
Horizontal bars	15' x 30'
Balance beam	15' x 30'

Area

Court Games 2

- 1 Courts should be constructed as economically as possible.
- 2 Courts should be of low maintenance materials.
- 3 Courts should be grouped side-by-side or overlapped whenever possible.
- 4 Court sites should be flat and well drained, maximum slope 3.0%.
- 5 Court should be enclosed by an 8-foot fence.
- 6 Court orientation should be on a north/south axis.

Activity

Activity	Area
Tennis	36' x 78'
Shuffle board	52' x 10'
Half-court basketball	37' x 50'
Full-court basketball	74' x 50'
Volleyball	17' x 44'

Area

Playfields 3

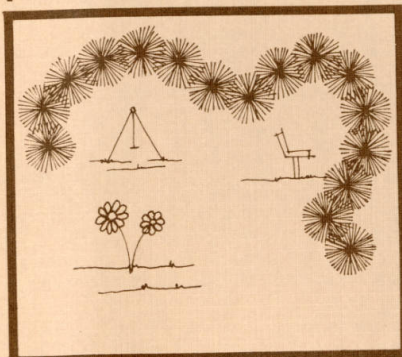
- 1 Area should be flat, grassy, and well drained.
- 2 Area should be surrounded by shade trees and low shrubs.
- 3 Minimum drainage 1.5% slope.
- 4 Maximum drainage 3.0% slope.
- 5 Field orientation should be on a north/south axis.

Activity

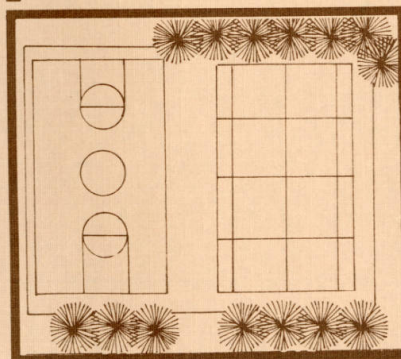
Activity	Area
Softball	175' x 175'
Football	300' x 160'
Rugby	300' x 195'
Soccer	300' x 150'
Field hockey	300' x 150'

Area

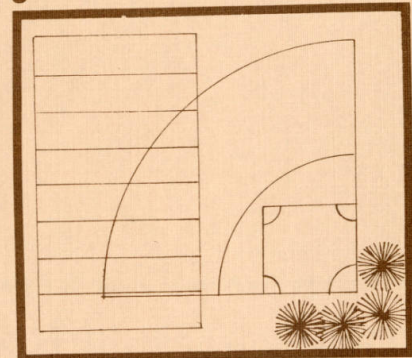
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2



3



5.6

Diagrams

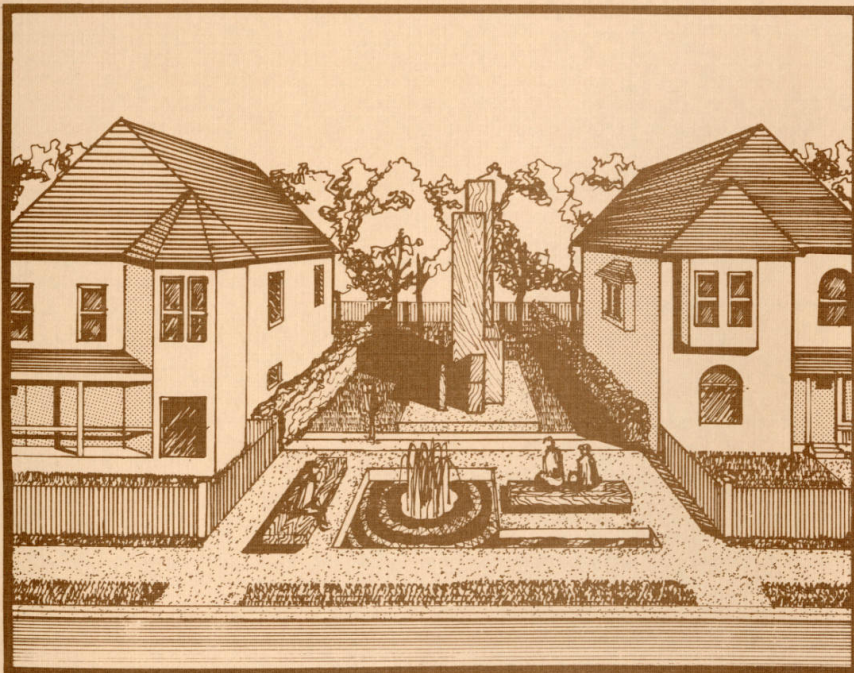
Park Development

Neighborhood Parks Provide

- 1 Some "Mother Nature" for the inhabitants of an urban environment
- 2 A cool micro-climate for relief from the summer heat
- 3 A place to relax and pursue many leisure activities
- 4 A neighborhood focal point and community spirit

Park Types

- 1 Lawn park--few trees, open space, little maintenance.
- 2 Shade park--many trees, plenty of shade in summer, beautiful color in spring and autumn.
- 3 Pond park--fountains, possibly bathing pool in summer and skating in winter.
- 4 Combination park--mixtures of the above.



Conceptual Sketch

Neighborhood Gardens Provide

- 1 A garden provides some "Mother Nature" for the inhabitants of an urban environment.
- 2 A garden can add color to an area.
- 3 A garden can provide food for neighborhood residents.
- 4 A garden can be a diversion or recreation for many residents.

Garden Types

- 1 Flower garden
- 2 Vegetable garden
- 3 Shrub garden
- 4 Small individual plots
- 5 Formal walking garden
- 6 Fountain garden

Implementation

Acquire property which may be any of the following:

- 1 Empty lot
- 2 Community owned lot
- 3 Lot donated by the city government or by private businesses

Decide upon the following:

- 1 User group
- 2 Needs of the users
- 3 Type of park best suited to location and users
- 4 Safety level required
- 5 Maintenance level desired

The making of a small park would be an excellent community activity.

Suggested Guidelines

- 1 Central location
- 2 Locate away from main streets
- 3 Install adequate night lighting
- 4 Provide low maintenance park furniture
- 5 Plan access from at least two points
- 6 Multi-use capabilities
- 7 Scale adapted to user group
- 8 Vandal proof
- 9 Easily seen from a number of locations
- 10 Built or supervised by people living in the community

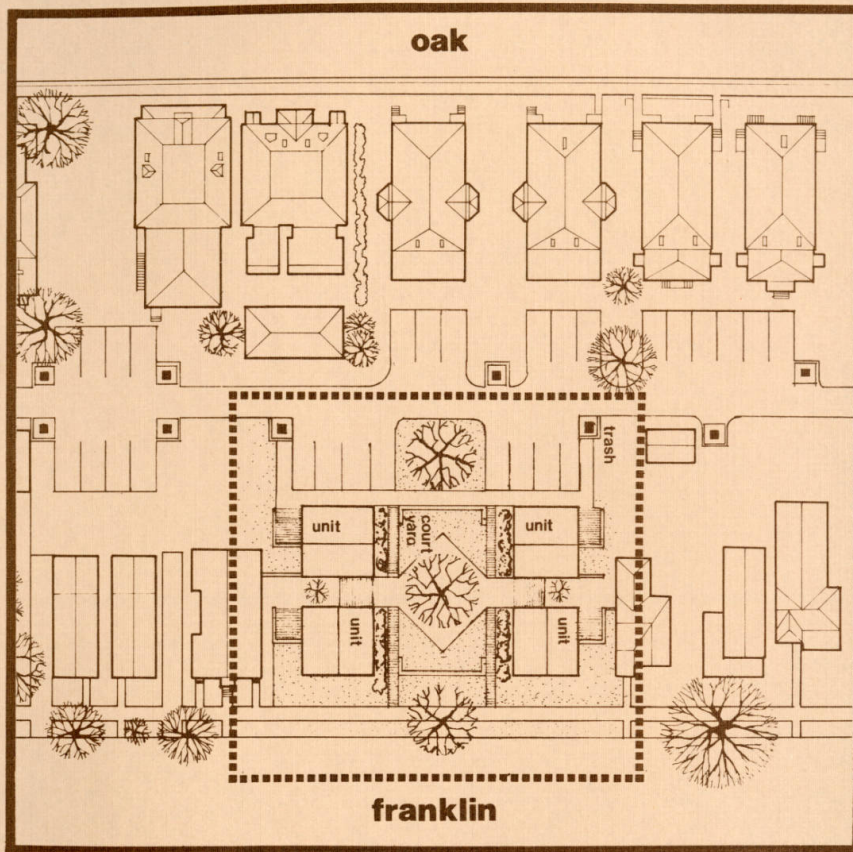
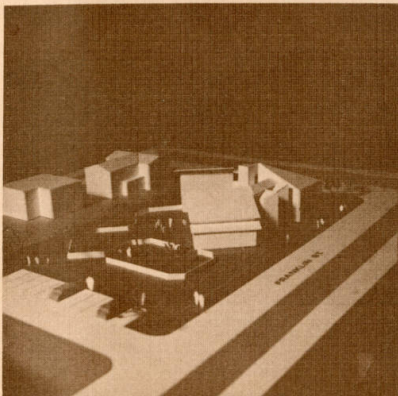
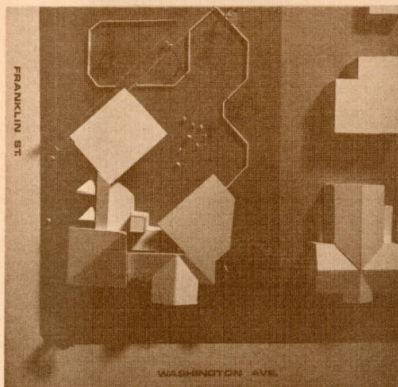
Buildings On Large Sites

Conceptual Site Plan

Alternate land use concerns development of new buildings on existing sites. Building types that could be supported and would be economically achievable for development on large vacant sites in the Town/Franklin Area are:

- 1 Apartment complexes
- 2 Office or commercial buildings
- 3 Community or civic buildings

New building designs should complement architectural and landscape elements of surrounding buildings. For example, no building should exceed five stories in height, since other structures in the area do not exceed this height.



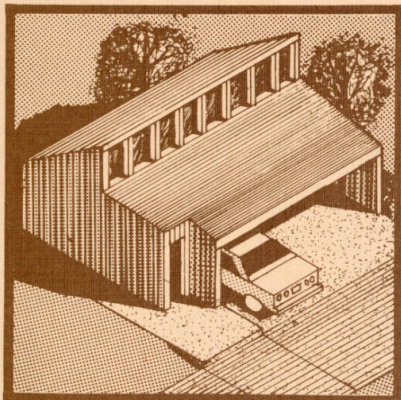
Recommendations

- 1 New designs should be harmonious with surrounding structures, i.e., do not over-power the neighborhood; consider scale, proportion, rhythm (See chapter 2, Architectural analysis).
- 2 If the new building(s) is/are not residential, develop it to be a positive element in the neighborhood system, i.e., build to satisfy the needs of the area (economic, security).
- 3 New designs should solve today's problems and needs and, therefore, should not be an eclectic architectural expression.
- 4 Adequate parking should be provided with adequate landscaping compliments.
- 5 Cluster buildings (such as that conceptually shown) can solve many problems relating to proportion, module private areas, etc. Ideally one large site could be collectively developed by 4 different participants.

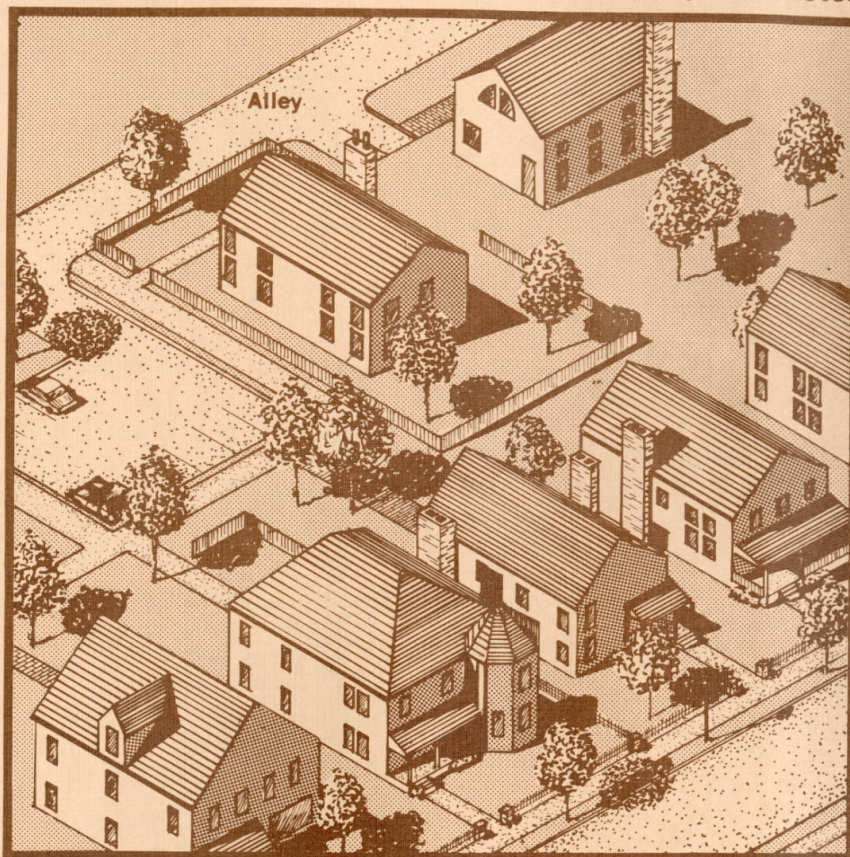
Buildings On Alleys

On the average, land use in the Town/Franklin Area is inefficient. Because of large lot sizes, some 40' x 200', it would be economically wise for property owners to consider liquidating unused tracts of land to the rear of requisite living spaces. These tracts of land could accommodate carriage house apartments, small offices or commercial buildings, or vehicular storage structures. Therefore, unproductive space, generally occupied by deteriorating carriage houses or used for trash accumulation, could be developed to increase property values, supplement incomes, and eliminate physically and visually disorderly alleys.

Construction of multi-car garages in the Town/Franklin Area is recommended. These structures would aid greatly in reducing: on street parking, the need for parking lots, and unused land at the back of lots. Garages also aid in creating a more residential, and human atmosphere.



Conceptual Sketch



Recommendations

- 1 Clean up and repair existing alley structures.
- 2 When redeveloping the alleys, additional parking should be a primary concern.
- 3 New buildings on alleys should be consistent in scale with existing alley structures while the color, material, and ornamentation should relate to the primary structure on the site.
- 4 Roof forms and window lines of any new building should be harmonious with surrounding structures.
- 5 Pedestrian entrances should be clearly defined through the use of landscape and architectural elements.
- 6 New buildings should be designed for mixed use with flexible economic alternatives.

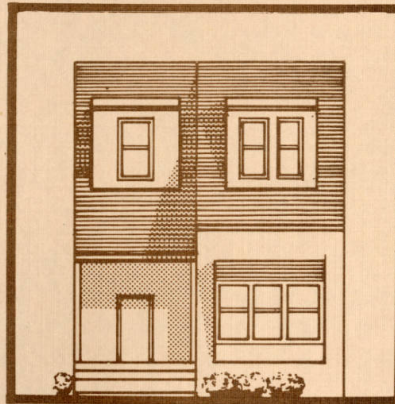
Infill Buildings

There are approximately 15 vacant sites in the Town/Franklin Area to be developed, ranging in size from small, single-family lots to a city block. Building on these sites will better define neighborhood boundaries and increase the economic stability of the area by encouraging the establishment of small businesses. Because people are returning to the urban core after a brief migration to the suburbs, population density and therefore economic stability will also most likely occur in the Town/Franklin Neighborhood if multi-family apartment buildings are constructed on vacant sites.

Eliminating neighborhood voids through infill building is one of the most difficult problems faced by today's architectural designers. Not only must scale, proportion, rhythm, and color be considered in any design for infill building but, particularly in older neighborhoods, infill building must blend the old with the new. That is, infill buildings should be contemporary in function, complying with all existing zoning and building codes, but consistent in style, ornamentation, and scale with surrounding structures.



1

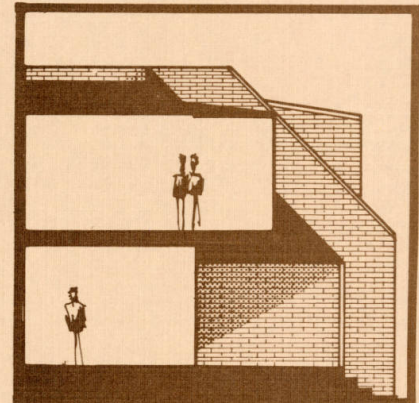


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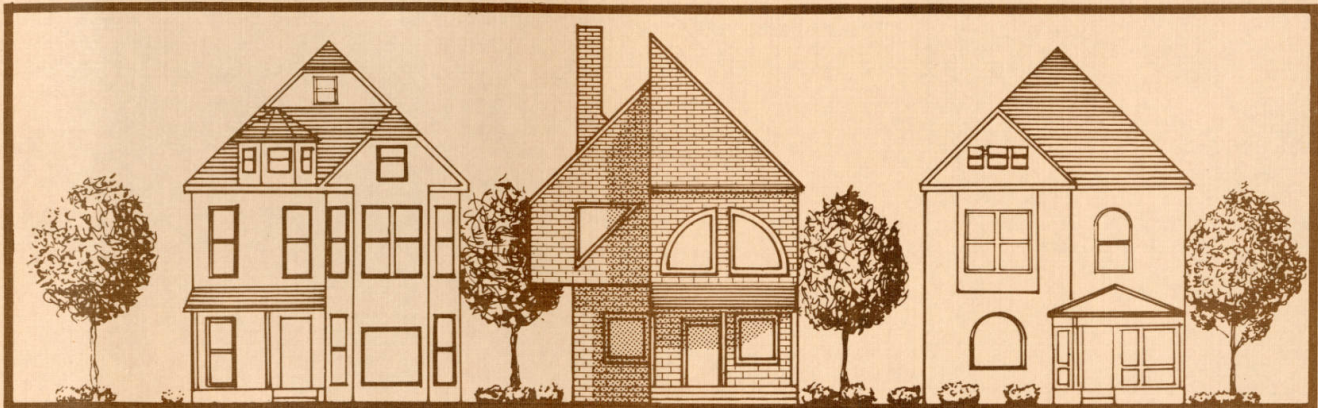
Recommendations

- 1 Infill buildings should be consistent in scale, rhythm, and proportion with surrounding architecture.
- 2 Infill buildings should be harmonious in design, rather than trying to contrast with surrounding architecture.
- 3 Infill buildings should be designed with today and the future in mind, not as replicas from the past, i.e., new innovative concepts should be developed, rather than a pseudo-historic architectural expression.
- 4 Infill buildings should solve problems, not create them.

Section



Elevations



3

Alternative Building Use

Basic alternatives for residential buildings are:

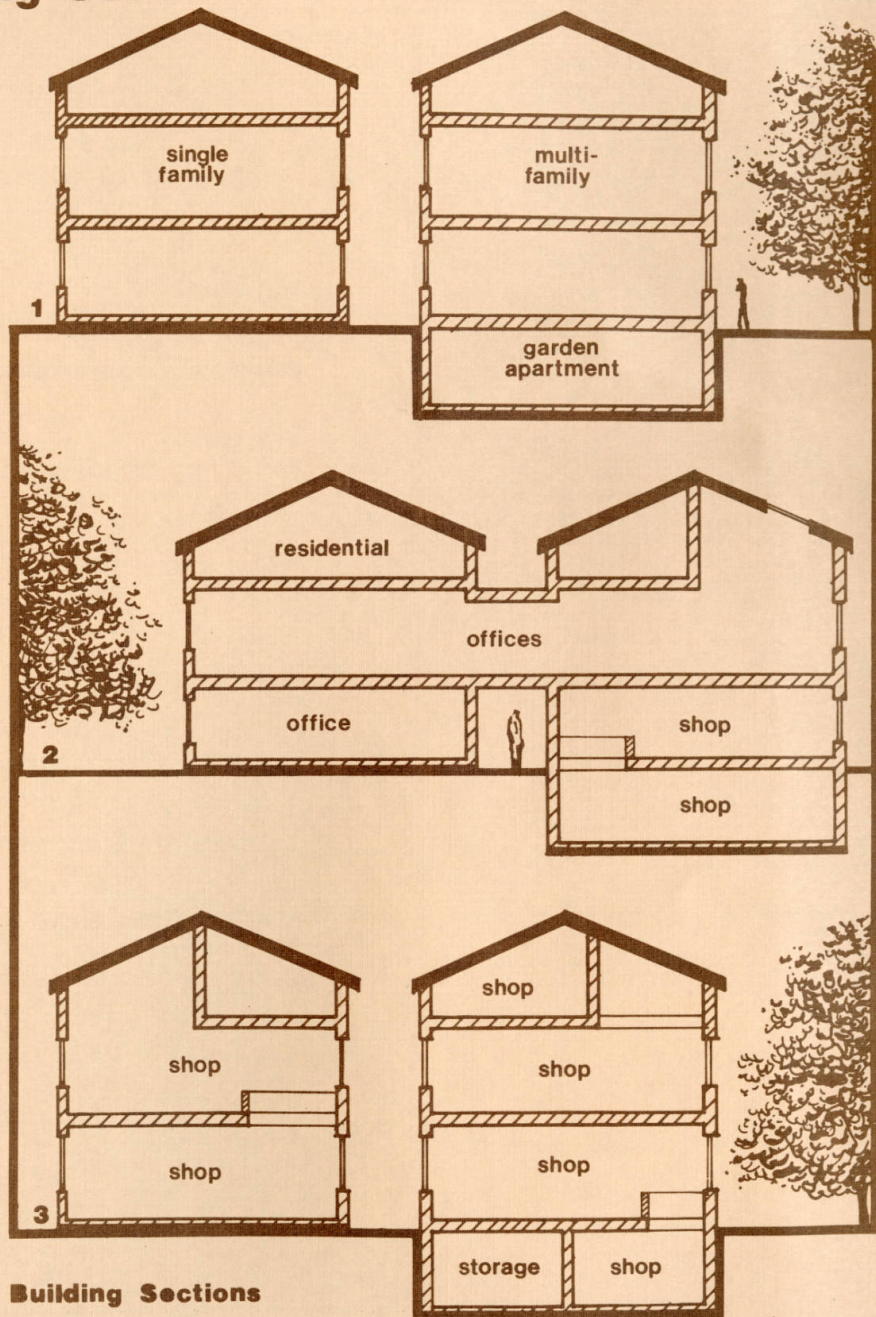
- 1 completely residential single-family or multi-family.
- 2 partly residential and commercial.
- 3 completely commercial.

Unification is one of the major factors in the revitalization of this area. In order to help create this unification a certain degree of self-sufficiency should be achieved. At the present time the area lacks certain businesses which would help to create a more self-sufficient neighborhood, a few examples of these are:

- 1 pharmacy
- 2 grocery
- 3 bakery
- 4 small boutiques such as clothing, plants, crafts, etc.
- 5 professional offices such as law, medical, dental, architectural, etc.

In order to house these activities while maintaining the character of Town/Franklin, old buildings and houses which have extra space available could be remodeled to serve multiple functions. Some buildings lend themselves very well to different uses with minimal remodeling. Where buildings are large enough, upper floors could be divided into apartments and/or offices while the lower floors are used for housing small businesses.

Some structures may only be suitable for one function due to size, entrances, or other variables. In these situations the building should be studied to see what function it serves the best. In any case, minor remodeling can create new usable space, previously wasted while making the structure a nicer and more efficient element of the neighborhood.

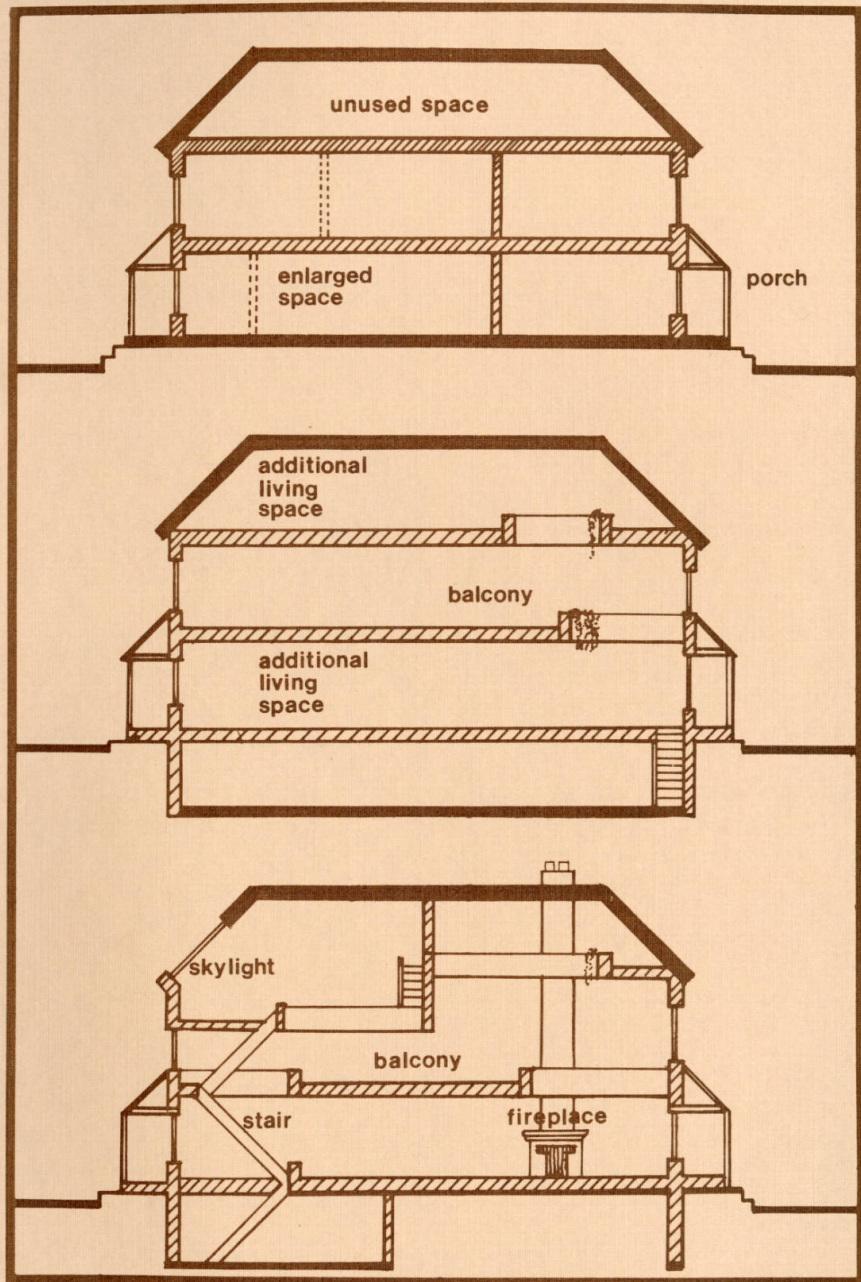


Building Sections

Interior Renovation

Interior renovation into multi-family apartment units would be economically beneficial to property owners in the face of rising energy costs, while maintaining the original character of the building. Interior renovation can be implemented by the following ideas:

- 1 Large, open areas may be achieved by removing interior walls. If load-bearing walls must be removed, spaces should be spanned with columns and beams. Professional advice should be sought before removing walls, if there is a question as to whether or not a wall is load bearing.
- 2 Added square footage for living space can be achieved by utilizing attic and basement spaces, formerly considered void spaces.
- 3 Since most older homes have very high ceilings, the removal of floors in interior renovation would contemporize spaces. It should be realized, however, that removal of floors will deduct usable square footage.
- 4 When interior renovation includes developing vertical space (removing a floor), additional stairways may be required to meet building code requirements.
- 5 Original interior architectural elements should be retained during interior renovation for use as points of focal interest. Used in contemporary interiors of renovated houses, these old elements become links to the preserved character of the exterior building.



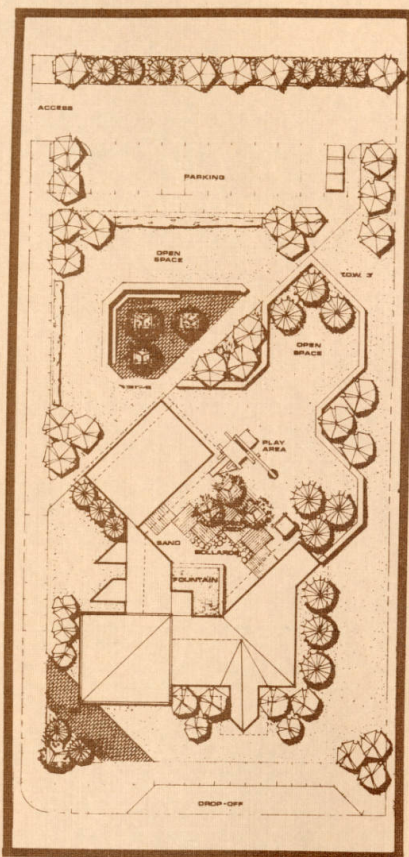
Building Sections

Example Project

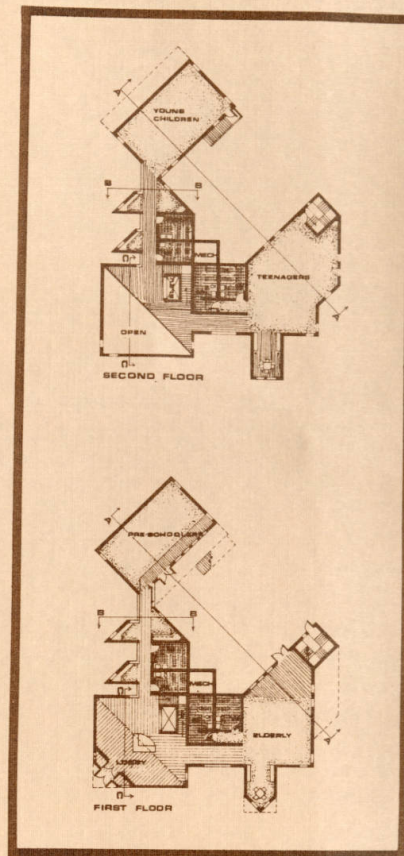
At a public meeting where the residents were invited to express their opinions and needs, a few were very common. The following design requests were the most frequent.

- 1 The recreation center should be easily accessible to all residents of the Town/Franklin area.
- 2 Both indoor and outdoor facilities must be provided adjacent to each other.
- 3 Recreation should be provided for all age groups.
- 4 Active and passive recreational services must be provided in proportion to need.
- 5 The center should also act as information center for community affairs.
- 6 A display area should be provided.
- 7 A tot-lot for pre-school children accompanied with parents should be provided.
- 8 A multi-purpose area for community gatherings is a necessity
- 9 Educational facilities should be provided for adult evening classes and summer programs for children.

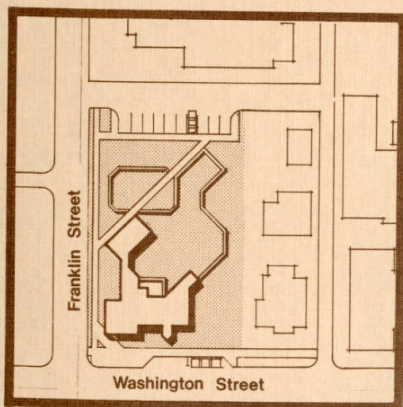
Shown on this page is an example of the design response that was developed from the residents requests.



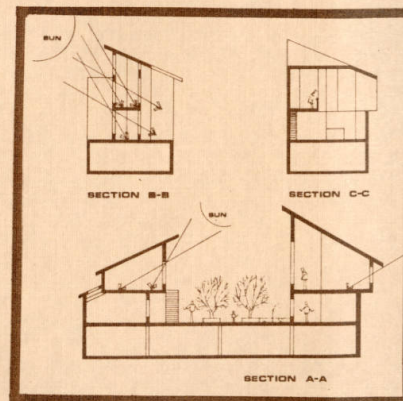
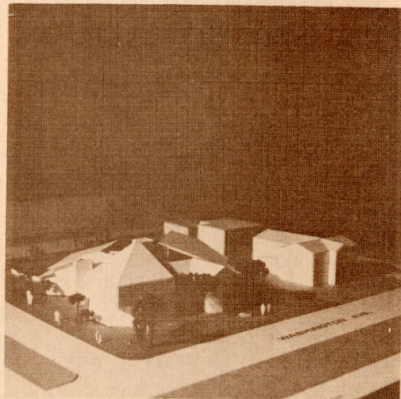
Site plans



Floor plans



Key plan



Section

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